



# TOWN OF WELLS, MAINE STAFF REVIEW COMMITTEE

---

## Meeting Agenda

Tuesday, May 10, 2016, 9:00 AM

### Town Hall

**Meeting Room, Second Floor**

**208 Sanford Road, Wells**

#### MINUTES

##### I. APRIL 26, 2016 DRAFT MEETING MINUTES

Documents: [SRC MIN 04-26-16.PDF](#)

#### DEVELOPMENT REVIEW & WORKSHOPS

##### I. KKW WATER DISTRICT - PUBLIC UTILITY FACILITY AMENDMENT

Edgar Moore, owner, KKWWD applicant. Site Plan Amendment to erect a 30' tall pole immediately adjacent to the existing Treatment Facility building. The pole will be used to mount a data collector to collect and transmit water meter reading data. No other changes are proposed. The property is located off of 95 Bypass Road and is within the Rural District. Tax Map 150, Lot 13. **Workshop completeness and draft compliance**

Documents: [KKW MERRILAND RIVER FACILITY AMEND APP MEMO 05-04-16.PDF](#), [KKW MERRILAND RIVER FACILITY COMPLETENESS 05-04-16.PDF](#), [KKW MERRILAND RIVER PT AMEND FOF 05-04-16.PDF](#), [KKW UTILITY FACILITY AMEND DRAFT PLAN 05-03-16.PDF](#)

##### II. ARMSTRONG FENCE

Steve & Lisa Duplisea, owner/applicant; Geoffrey Aleva, Civil Consultants, agent. Site Plan Amendment Application to eliminate the previously approved 40' x 100' 2-story office building and 32' x 38' garage and instead construct a 1,792 SF Business Office use (2-story building) and a 1,536 SF Business Contractor/ Business Wholesale/ Warehousing (1-story building), an accessory outdoor storage area/ display area, and associated parking. The parcel is located within the Light Industrial District and is off of 632 North Berwick Road. Tax Map 40, Lot 3-4. **Workshop completeness, compliance and draft Findings of Fact & Decisions for possible approval**

Documents: [ARMSTRONG AMEND APP MEMO 05-05-16.PDF](#), [ARMSTRONG FENCE AMD COMPLETENESS DRAFT 05-05-16.PDF](#), [ARMSTRONG FENCE AMD COMPLIANCE AND FOF DRAFT 05-05-16.PDF](#), [DRAINAGE MEMO 5-5-16.PDF](#), [ARMSTRONG FENCE FIRE LETTER 05-05-16.PDF](#), [0446402-DUPLISEA-SEPTIC\\_DESIGN.PDF](#), [ARMSTRONG FENCE REVIEW RESPONSE 04-27-16.PDF](#), [20160505-0446402-ST L1-L2\(REV\\_3\).PDF](#)

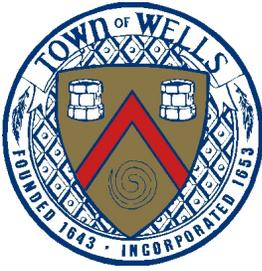
### III. FIRE & BREW/ HIDDEN COVE BREWERY

Fire & Brew Inc. owner; Richard Varano, applicant. Site Plan Amendment Application to locate a 200 SF Fast-Food Restaurant (Food Truck) on the property; to obtain approval for the Brewery (Business Wholesale/ Business Retail including Manufacturing use) to increase from 540 SF to 4,545 SF; and to reduce the Standard Restaurant seating from 120 seats to 38 seats. The property is located off of 73 Mile Road and is within the General Business and 250' Shoreland Overlay District. Tax Map 121, Lot 14. **Workshop completeness, compliance and draft Findings of Fact & Decisions for possible approval**

Documents: FIRE AND BREW AMEND APP MEMO 05-05-16.PDF, FIRE AND BREW AMD FOF DRAFT 05-05-16.PDF, FIRE AND BREW DRAFT PLAN 05-05-16.PDF, HIDDEN COVE BREWING CO KKW LETTER 05-04-16.PDF, WSD-FIREBREWLTR-4-29-16.PDF

### **OTHER BUSINESS**

### **ADJOURN**



## TOWN OF WELLS, MAINE STAFF REVIEW COMMITTEE

Meeting Minutes  
Tuesday, April 26, 2016, 9:00 AM  
Wells Activity Center  
113 Sanford Road, Wells

The meeting was called to order by Town Engineer/Planner Mike Livingston. Members present: Highway Department Commissioner Terry Oliver, Police Chief Jo-Ann Putnam, Fire Chief Dan Moore, Assistant Code Enforcement Officer Jim Genereux, Planning Assistant Shannon Belanger, Meeting Recorder Cinndi Davidson.

### **MINUTES**

April 12, 2016

### **MOTION**

Motion by Chief Moore, seconded by Mr. Genereux, to accept the minutes as submitted.

**PASSED** unanimously.

### **DEVELOPMENT REVIEW AND WORKSHOPS**

- I. **PINEDEROSA WEST CAMPGROUND** – Baston Properties, LLC, owner/applicant. Post Road Surveying Inc, agent. Site Plan Amendment Application seeking after the fact approval to reduce the parcel acreage from 150.9 acres to 26.86 acres; to allow gravel parking for the RV sites instead of grass parking; to allow up to 1,500 SF of structure to be built for a bath house, maintenance shed and/or other minor structure(s); and to add a well pump house. The amendment is to rectify an illegal lot division which created a 19± acre parcel with no street frontage. The site plan use shall remain a Tent and Recreational Vehicle Park consisting of 84 RV sites. The parcel is served by on-site septic and an on-site drilled well. The parcel is located within the Rural District and is off of Hiltons Lane. Tax Map 11, Lot 25. **Workshop completeness, compliance and draft Findings of Fact & Decisions for possible approval**

Greg Baston, applicant, and Jim Wright of Post Road Surveying were present. The recommended plan changes have been made.

### **MOTION**

Motion by Chief Moore, seconded by Mr. Genereux, to find the application complete. **PASSED** unanimously.

### MOTION

Motion by Chief Moore, seconded by Mr. Genereux, to find that the 25' buffer meets the setbacks and screening requirements. **PASSED** unanimously.

### MOTION

Motion by Chief Moore, seconded by Mr. Genereux, to find the application compliant. **PASSED** unanimously.

### MOTION

Motion by Chief Moore, seconded by Mr. Genereux, to approve the Findings of Facts & Decisions with §145-75 A-N, 16 standard conditions of approval and 1 special condition of approval, to approve the plan and sign the plans and Findings at the end of the meeting. **PASSED** unanimously.

- II. ARMSTRONG FENCE** – Steve & Lisa Duplisea, owner/applicant; Geoffrey Aleva, Civil Consultants, agent. Site Plan Amendment Application to eliminate the previously approved 40' x 100' 2-story office building and 32' x 38' garage and instead construct a 1,792 SF Business Office use (2-story building) and a 1,536 SF Business Contractor/ Business Wholesale/ Warehousing (1-story building), an accessory outdoor storage area/display area, and associated parking. The parcel is located within the Light Industrial District and is off of 632 North Berwick Road. Tax Map 40, Lot 3-4. **Workshop completeness, compliance and draft Findings of Fact & Decisions for possible approval**

The engineer is working on plan revisions.

### MOTION

Motion by Chief Moore, seconded by Mr. Genereux, to continue the workshop to the next meeting. **PASSED** unanimously.

- III. JOSHUA'S RESTAURANT** – Joshua Mather, owner/applicant. Harvey Wells, architect. Site Plan Amendment Application to construct a 228 SF building addition and a 48 SF walk-in cooler; construct a 416 SF covered outdoor dining area for 16 additional seats for the Standard Restaurant use (new total of 93 seats), and expand the entry footprint by 120 SF for ADA accessibility. The parcel is located within the General Business District and is off of 1637 Post Road. Tax Map 135, Lot 15. **Workshop completeness, compliance and draft Findings of Fact & Decisions for possible approval**

Joshua Mather, applicant, and Harvey Wells, architect, were present. The recommended plan and note changes have been made. The Wells Sanitary District letter for the expansion of the seats has been received.

### MOTION

Motion by Chief Moore, seconded by Mr. Genereux, to find that the 6' stockade fence on the northerly property line provides adequate screening for the abutter. **PASSED** unanimously.

### **MOTION**

Motion by Chief Putnam, seconded by Chief Moore, to find that the existing trees added to the plan provide an adequate buffer along Route One. **PASSED** unanimously.

### **MOTION**

Motion by Chief Moore, seconded by Mr. Genereux, to find the application complete. **PASSED** unanimously.

### **MOTION**

Motion by Chief Moore, seconded by Mr. Genereux, to find the application compliant. **PASSED** unanimously.

### **MOTION**

Motion by Chief Moore, seconded by Mr. Genereux, to approve the Findings of Facts & Decisions with §145-75 A-N, 16 standard conditions of approval and 1 special condition of approval, to approve the plan and sign the plans and Findings at the end of the meeting. **PASSED** unanimously.

- IV. COAST TO COAST CATERING** – Lyons Enterprises, owner; Daniel Crook, applicant. Site Plan Amendment to install a 10' x 12' walk-in cooler for the existing 1,550 SF Business Contractor Use building; and to obtain after the fact approval for 9 gravel parking spaces and a paved walkway installed without site plan approval. The parcel is located within the Residential Commercial District and is off of 835 Sanford Road. Tax Map 49, Lot 29-1. **Workshop completeness, compliance and draft Findings of Fact & Decisions for possible approval**

### **MOTION**

Motion by Chief Putnam, seconded by Chief Moore, to table this item until the applicant arrives. **PASSED** unanimously.

- V. SEACOAST MOTEL** - Jmseacoast, LLC, owner/applicant. Site Plan Amendment Application to install a fence, eliminate the Hotel/Motel dumpster and install a 10' x 12' shed. No change proposed to the existing Hotel/Motel use which consists of 15 one-bedroom units. The parcel is located within the General Business District and is off of 40 Post Road. Tax map 105, Lot 2. **Consider Amendment Application for receipt, Workshop completeness and draft compliance and Findings of Fact & Decisions if appropriate**

Josh Mocarzel, applicant, and J.J. Mocarzel were present. The options for a tent/shelter for outside continental breakfast service were considered. The Code requires any building that is part of a hotel/motel to be sprinklered. Even a tent would qualify as a building because it is a structure with a roof supported by columns. Chief Moore and Mr. Oliver suggested attaching an awning to the side of the building and wheeling out a food cart each morning. There are extra parking spaces and one space could be given up to accommodate the breakfast service. That space will be designated employee parking. The applicant would need a building permit for an awning and it must meet setback requirements. An awning doesn't require a site plan, does not increase the floor area and is not a change of use. Mr. Mocarzel said they will look into awnings.

Screening for the abutter was considered. The applicant is planning to add a chain link fence. If the abutter is commercial, the fence doesn't have to be 6'. If the abutter is residential, 6' screening is required. There is a 4' chain link fence partially across the back property line, which the applicant plans to extend. The site is currently grandfathered with no fence, therefore any fence brings the site into more compliance. The plan will be updated to show the extended 4' fence and an additional employee parking space.

**MOTION**

Motion by Chief Moore, seconded by Mr. Genereux, to receive the site plan amendment application. **PASSED** unanimously.

**MOTION**

Motion by Chief Moore, seconded by Mr. Genereux, to waive the requirement for letters from KKWWD and WSD since there is no change of use. **PASSED** unanimously.

**MOTION**

Motion by Chief Moore, seconded by Mr. Genereux, to find the application complete, conditional upon labeling the employee parking space and amending the note about the fence. **PASSED** unanimously.

**MOTION**

Motion by Chief Moore, seconded by Mr. Genereux, to find the application compliant. **PASSED** unanimously.

**MOTION**

Motion by Chief Moore, seconded by Chief Putnam, to approve and sign the Findings of Facts & Decisions. **PASSED** unanimously.

The plans will be updated and signed at the next meeting. The awning requires a building permit from the Code Office and doesn't need to be on the site plan. One condition of approval in the Findings is that the parking lot striping will be completed by May 15.

- VI. FIRE & BREW/ HIDDEN COVE BREWERY** – Fire & Brew Inc. owner; Richard Varano, applicant. Site Plan Amendment Application to locate a 200 SF Fast-Food Restaurant (Food Truck) on the property; to obtain approval for the Brewery (Business Wholesale/ Business Retail including Manufacturing use) to increase from 540 SF to 4,545 SF; and to reduce the Standard Restaurant seating from 120 seats to 38 seats. The property is located off of 73 Mile Road and is within the General Business and 250' Shoreland Overlay District. Tax Map 121, Lot 14. **Receive the Site Plan Amendment Application and workshop completeness**

Applicant Dick Varano was present. The proposal is to reduce the existing restaurant from 120 seats to 38, expand the brewery and add a food truck. The building would have the same footprint; the internal space is being reconfigured. The 38 seats will be a beer tasting area.

**MOTION**

Motion by Chief Moore, seconded by Mr. Genereux, to receive the site plan amendment application. **PASSED** unanimously.

Multiple e-mails have been received from abutters who oppose the proposal due to smoke in the past. Several abutters attended the meeting; they questioned the location of the food truck and the direction of the smoke. The smoker unit was removed and the pizza oven is being removed, and the food truck will park near the Hannaford sign and flag pole. Mr. Varano said they currently close at 7 PM and may extend it to 9 PM. The facility must conform to the noise ordinance. This will be a beer tasting facility, not a bar, and the truck will provide food for customers to eat while they are tasting. The abutters asked about noise from the compressors, trash removal and odors, and if the amount of trash is going to increase. Mr. Varano said he removed the cooler and the compressors haven't been running for 6 months. Mr. Livingston noted that the requirements of the previous approval haven't been met. Fencing and arborvitae plantings near the compressor are missing.

The gravel parking area will be eliminated when the seating is reduced; this will help with coverage. Chief Moore recommended adding a condition that the applicant will install a fence if the compressor noise increases. The food truck location was considered; cones and other safety measures were recommended.

A representative from WSD was present. There is excess capacity with the decreased number of seats. The Water District also has excess capacity now. The applicant will obtain e-mails from both districts for the Planning Office.

#### **MOTION**

Motion by Chief Moore, seconded by Mr. Genereux, to continue the workshop to the next meeting. **PASSED** unanimously.

- VII. COAST TO COAST CATERING** – Lyons Enterprises, owner; Daniel Crook, applicant. Site Plan Amendment to install a 10' x 12' walk-in cooler for the existing 1,550 SF Business Contractor Use building; and to obtain after the fact approval for 9 gravel parking spaces and a paved walkway installed without site plan approval. The parcel is located within the Residential Commercial District and is off of 835 Sanford Road. Tax Map 49, Lot 29-1. **Workshop completeness, compliance and draft Findings of Fact & Decisions for possible approval**

Applicant Dan Crook and property owner Dan Lyons were present. Note 13 has been revised and the abutter is satisfied with the screening.

#### **MOTION**

Motion by Chief Moore, seconded by Mr. Genereux, to find the application complete. **PASSED** unanimously.

#### **MOTION**

Motion by Chief Moore, seconded by Mr. Genereux, to find the application compliant. **PASSED** unanimously.

#### **MOTION**

Motion by Chief Moore, seconded by Mr. Oliver, to approve and sign the Findings of Facts & Decisions and sign the site plan at the end of the meeting. **PASSED** unanimously.

**ADJOURN**

**MOTION**

Motion by Mr. Oliver, seconded by Chief Putnam, to adjourn and sign plans and Findings.  
**PASSED** unanimously.

RESPECTFULLY SUBMITTED:

\_\_\_\_\_  
Cinndi Davidson, Meeting Recorder

ACCEPTED BY:

\_\_\_\_\_  
Michael G. Livingston, PE, Town Engineer/Planner



**Planning & Development**  
**208 Sanford Road, Wells, Maine 04090**

Phone: (207) 646-5187, Fax: (207) 646-2935

Website: [www.wellstown.org](http://www.wellstown.org)

<i>Michael G. Livingston, Town Engineer/Planner</i>	<a href="mailto:mlivingston@wellstown.org">mlivingston@wellstown.org</a>
<i>Shannon M. L. Belanger, Planning Assistant</i>	<a href="mailto:sbelanger@wellstown.org">sbelanger@wellstown.org</a>

**Site Plan Amendment Application Memo**

Date: May 4, 2016

To: Staff Review Committee

From: Planning Office

Re: KKW Water District Public Utility Facility Amendment– Map 150, Lot 13

**Project Description:**

KK&W Water District has submitted a site plan amendment application for the existing 16' x 20' pumping and treatment facility which is considered a Public Facility use within the Rural District. The amendment proposes to install a 30' tall pole adjacent to the existing facility to collect water meter reading data. The facility is located on a 3.67 acre parcel of land. This parcel has two existing single family dwelling units and accessory garages and sheds. The property is served by public sewer and water but the dwelling off of 71 Bypass Road is served by a private septic system. The public utility facility proposed will have no such service connections (i.e. no bathroom) except for water connection for operations. The parcel is located off of Bypass Road and is identified as Tax Map 150, Lot 13. The public utility facility has its own access off of Bypass Road with a paved driveway with paved parking.

**§ 145-74. Review and approval process.**

**C. Staff Review Committee process. The SRC recieved the amendment application on 1/12/16**

- (1) The membership of the Staff Review Committee shall include the Road Commissioner, the Fire Chief, the Police Chief, the Code Enforcement Officer, Town Engineer (if any) and Director of Planning and Development or their designees. The Director of Planning and Development is the Chair of the Committee and shall designate the Vice Chair.
- (2) If there are site plan approval applications to review, the Staff Review Committee shall meet at least two times a month. The meeting schedule shall be established by the Director of Planning and Development by the first day of December for the following calendar year. The agenda for each Staff Review Committee meeting shall be posted in the Town Hall at least seven days prior to the meeting. Scheduled meetings may be rescheduled if the Committee members or their designees are unable to attend to a time agreed to by all applicants on the agenda for the meeting.
- (3) An applicant shall be notified of any Staff Committee meetings at which the applicant's plan will be reviewed and shall have the right to attend any Staff Review Committee meetings at which the plan may be reviewed.
- (4) A new application, revised application or proposed amendment to an approved plan shall be submitted to the Office of Planning and Development at least 10 days prior to the meeting at

which it will be considered. The application shall be accompanied by a site plan and the required fee. **Application submitted 12/29/15, SRC received on 1/12/16**

- (5) Upon the receipt of an application for site plan approval along with certification that the abutters have been sent or delivered notices of the site plan approval application by the applicant, the Code Enforcement Officer shall review the application and the site plan to determine if the proposed use meets the requirements of Articles V, VI and VII. **Abutters notified on 1/5/16**
    - (a) If the application does or does not meet the requirements of Articles V, VI and VII, the Code Enforcement Officer shall notify the applicant in writing.
    - (b) If the application does meet the requirements of Articles V, VI and VII, the Director of Planning and Development shall place the application on the next meeting agenda of the Staff Review Committee and shall provide the Planning Board with a brief description of the application at its next meeting. At the meeting the Staff Review Committee shall determine if the application is complete. If it is not complete the applicant shall be notified in writing of the information needed to complete the application. **To be determined**
  - (6) Upon determining that the application is complete, the Committee shall review the site plan and either approve the application and sign the site plan, approve the application with conditions and sign the site plan or deny the application. **To be determined**
  - (7) The Staff Review Committee may only approve an application by a unanimous vote, and its decision shall be based on the criteria found in § 145-75, and it shall inform the applicant in writing within seven days of its decision stating its reasons. The Committee shall prepare detailed, written findings of fact, based on the evidence presented, and its conclusions and basis thereof. **To be determined**
  - (8) The Staff Review Committee shall take action on a complete application within 35 days of its receipt by the Staff Review Committee or within a period of time mutually agreed to by the applicant and the Staff Review Committee. Failure to take action within 35 days or within the mutually agreed to time period shall constitute an automatic denial of the plan. **To be determined**
- E. Upon the receipt of a plan signed by the review authority, the Code Enforcement Officer may issue a building permit and/or use permit as long as the plan is in compliance with all local regulations, except this article.
- F. Expiration.
- (1) Site plan approval secured under the provisions of this chapter shall expire within two years of the date on which the site plan is signed if: **To be determined**
    - (a) A building permit is not obtained for new building construction included as part of an approved site plan. The site plan approval shall be valid for up to 10 years as long as a valid building permit exists for the proposed construction.
    - (b) A use permit is not obtained and the use requested is not established on a site that does not include any new construction.
  - (2) Any approval may include a phasing plan which would allow the issuance of building permits for a multi-building project to be phased according to a proposed time schedule. After two years from the date of approval, no building permit shall be issued for any phase if it does not comply with the requirements of this chapter in effect at the time when the building permit application is filed.

#### **Recommendations and conclusions:**

1. The Staff Review Committee should review and workshop the following Article V, VI, VII and completeness review comments:
  - a. The attached stamped Sketch Plan prepared by David Hughes, PLS dated 1/20/16 shows the existing utility building was constructed to meet setbacks.
  - b. A letter from CMP has not been possible to obtain as of yet. A special condition of approval requiring written permission for the pole from

CMP is recommended to be provided prior to the issuance of a building permit for the proposed pole

2. If the items above are found to be satisfactorily address the SRC to consider:
  - a. Finding the application complete (145-77)
  - b. Finding the application compliant (145-75)
  - c. Approving and signing the Findings of Fact & Decisions and plan

**Town of Wells , Maine**  
**Article X , 145-77 Data Requirements (Completeness Review)**  
**Page 1 of 5**

Project Name/District: KKW Water District Merriland River Pumping and Treatment Facility Amendment / Rural District - Tax Map 150, Lot 13      Date of Review: 01/07/16; 05/04/16

Prepared By: Office of Planning & Development      Company Name: Town Of Wells

**Article X**  
**Site Plan Approval**

§ 145-77. Data Requirements [Amended 4-26-1996]		Application Meet Requirements				
		Yes	No	NA	Waiver	Comments
Any application presented for approval shall include the following information if applicable:						
A.	A site plan drawn at a scale not smaller than one inch equals 40 feet which shall contain the following information:				W	Waiver granted on 4/24/12 of the 1" = 50' plan scale. On 1/12/16 the SRC re-affirmed this waiver.
(1)	The name and address of the applicant plus the name of the proposed development.	Y				The plan states the land is located on Bypass Road. The name of the development is noted.
(2)	Total floor area, ground coverage and location of each proposed building, structure or addition.	Y				Note #2 details the existing and proposed coverage which includes structural coverage and non-vegetated areas. Coverage proposed to remain at 11%.
(3)	Perimeter survey of the parcel, made and certified by a registered land surveyor licensed in Maine, relating to reference points, showing true or magnetic North, graphic scale, corners of parcel, date of survey and total acreage. The requirement for a certified boundary survey may be waived by the reviewing authority if the proposed construction is located a distance equal to the required setback plus 10 feet from any lot line.	Y				The plan for which the facility was originally approved was laid out on a plan prepared by John Bruckler, Land Surveyor on 11/04/2008.  The building was constructed in 2012 per the 2012 approval. David J. Hughes, PLS prepared a revision to the "Sketch Showing Easement Conveyed by Edgar Moore to KKWWD" on 1/20/16. This stamped plan provides the building distances from the lot lines. Setbacks are shown to be met.
(4)	All existing and proposed setback dimensions.	Y				See zoning dimensional table on the plan.
(5)	The size, location, direction and intensity of illumination of all major outdoor lighting apparatus and signs.	Y				Notes on the plan indicate the facility shall have no signage, or lighted signage. One exterior mounted building light will be located on the proposed building but shall be shielded from producing glare onto abutting lots and roads.
(6)	The type, size and location of all incineration devices.			NA		No such devised identified on the parcel.

**Town of Wells , Maine**  
**Article X , 145-77 Data Requirements (Completeness Review)**  
**Page 2 of 5**

Project Name/District: KKW Water District Merriland River Pumping and Treatment Facility Amendment / Rural District - Tax Map 150, Lot 13

Prepared By: Office of Planning & Development

Date of Review: 01/07/16; 05/04/16

Company Name: Town Of Wells

§ 145-77. Data Requirements [Amended 4-26-1996]		Application Meet Requirements				
		Yes	No	NA	Waiver	Comments
(7)	The type, size and location of all machinery likely to generate appreciable noise at the lot lines.			NA		No such machinery identified on the parcel or near lot lines. The facility does not have a generator installed on site.
(8)	The location, type and size of all existing and proposed catch basins, storm drainage facilities, wetlands, streams and watercourses and all utilities, both above and below ground.	Y				Existing above ground utility poles are identified on the plan. The underground water main lines are identified on the plan. Sewer lines are not noted. No changes to water or sewer service connections proposed.
(9)	All existing contours and proposed finished grade elevations of the portions of the site which will be altered and the system of drainage proposed to be constructed. Contour intervals shall be specified by the reviewing authority. This requirement may be waived by the reviewing authority if no additional lot coverage is proposed or the proposed lot coverage is less than 30% and has an area of less than 15,000 square feet.			NA		Waiver granted on 4/24/12 for existing and proposed contours. No changes to contours proposed. On 1/12/16 the SRC found that contours are not required to be depicted.
(10)	The location, type and size of all curbs, sidewalks, driveways, fences, retaining walls and parking space areas and the layouts thereof, together with the dimensions.	Y				Existing and proposed driveways are identified. The proposed parking space is detailed on the plan. The plan does not identify fences or retaining walls that exist. None are proposed.
(11)	All landscaped areas, fencing and size and type of plant material upon the premises.	Y				The plan identifies the existing vegetation surrounding the proposed facility. On 1/12/16 the SRC determined that the existing landscaped buffer along Bypass Road is sufficient.

**Town of Wells , Maine**  
**Article X , 145-77 Data Requirements (Completeness Review)**  
**Page 3 of 5**

Project Name/District: KKW Water District Merriland River Pumping and Treatment Facility Amendment / Rural District - Tax Map 150, Lot 13

Date of Review: 01/07/16; 05/04/16

Prepared By: Office of Planning & Development

Company Name: Town Of Wells

§ 145-77. Data Requirements [Amended 4-26-1996]		Application Meet Requirements				
		Yes	No	NA	Waiver	Comments
(12)	All existing or proposed rights-of-way, easements and other legal restrictions which may affect the premises in question.	Y				CMP approval letter dated 4-6-12 for 16' x20' treatment facility and 12' x 55' driveway. Use Agreement with CMP and KKWWD dated 5-30-2012 provided. <b><u>A letter from CMP giving written permission to install the pole shall be provided prior to the issuance of the building permit for the pole.</u></b>  Easement Deed from Edgar Moore to KKWWD recorded at YCRD 5/31/2012 Book 16334 Page 495-496. Mr. Moore was notified of the amendment and provided verbal agreement to the amendment to the Planning Office in January 2016.
(13)	The locations, names and widths of all existing and proposed streets abutting the premises.	Y				
(14)	The lot lines of all lots abutting the proposed development, including those lots across the street, together with the names on file in the Town offices as of the date of the application.	Y				
(15)	An appropriate place for the signature(s) of the reviewing authority.	Y				
B.	Documentation of right, title or interest in the proposed site.	Y				Bk 16147, Pg 917-918 deed provided.  Bk 16334, Pg. 495-496 Easement Deed provided.  CMP User Agreement 5-30-2012 provided.
C.	An on-site soils investigation report by a Maine Department of Human Services licensed site evaluator (unless the site is to be served by public sewer). The report shall identify the types of soil, location of test pits and proposed location and design for the subsurface disposal system.			NA		The proposed facility shall not be connected to public sewer (see note #4. The location of the existing septic system for the dwelling at 71 Bypass Rd is identified on the plan.
D.	The amount and type of any raw, finished or waste materials to be stored outside of roofed buildings, including their physical and chemical properties, if appropriate.			NA		No such storage is identified on the parcel. Such areas must be identified if applicable.

**Town of Wells , Maine**  
**Article X , 145-77 Data Requirements (Completeness Review)**  
**Page 4 of 5**

Project Name/District: KKW Water District Merriland River Pumping and Treatment Facility Amendment / Rural District - Tax Map 150, Lot 13

Date of Review: 01/07/16; 05/04/16

Prepared By: Office of Planning & Development

Company Name: Town Of Wells

§ 145-77. Data Requirements [Amended 4-26-1996]		Application Meet Requirements				
		Yes	No	NA	Waiver	Comments
E.	If the proposed use will be connected to the Wells Sanitary District's sewer system, a letter from the Sanitary District stating that adequate line and plant capacity to dispose of the generated sewage will be available.			NA		The proposed facility shall not be connected to public sewer (see note #4). The dwelling at 95 Bypass Road is served by public sewer.
F.	If the proposed use will be connected to the Kennebunk, Kennebunkport and Wells Water District water system, a letter from the Water District stating that adequate line and supply capacity to serve the proposed use will be available.			NA		The proposed facility will be connected to public water but solely for water utility operations (see note #4). No sanitary facilities are provided. The existing dwellings are served by public water.
G.	Traffic data. Only the Planning Board may require that a site plan application include a traffic engineering study should the project be considered one of substantial magnitude along any of the Town's state highways where fast-moving traffic occurs (i.e., Route Nos. 1, 109, 9, 9-A and 9-B). Should a traffic study be requested by the Planning Board, the following data shall be included:			NA		The Staff Review Committee cannot require traffic data.
	(1) The estimated peak-hour traffic to be generated by the proposal.					
	(2) Existing traffic counts and volumes on surrounding roads.					
	(3) Traffic accident data covering a recent three-year period.					
	(4) The capacity of surrounding roads, municipal facilities, parking and any improvements which may be necessary on such roads and facilities to accommodate anticipated traffic generation.					
	(5) The need for traffic signals and signs or other directional markers to regulate anticipated traffic.					
H.	A soil erosion and sedimentation control plan, prepared in accordance with the Maine Erosion and Sedimentation Control Handbook for Construction: Best Management Practices, published by the Maine Department of Environmental Protection and the Cumberland County Soil and Water Conservation District, 1991. <b>[Amended 4-27-2007]</b>				W	The Standard Conditions of Approval notes are on the plan. Best Management Practices are a condition of approval.  A waiver was previously granted by the SRC of a soil erosion and sedimentation control plan for this property on 4/24/12. See note 7. No changes are proposed that will have an impact or soil erosion or sedimentation.

**Town of Wells , Maine**  
**Article X , 145-77 Data Requirements (Completeness Review)**  
**Page 5 of 5**

Project Name/District: KKW Water District Merriland River Pumping and Treatment Facility Amendment / Rural District - Tax Map 150, Lot 13 Date of Review: 01/07/16; 05/04/16

Prepared By: Office of Planning & Development Company Name: Town Of Wells

§ 145-77. Data Requirements [Amended 4-26-1996]		Application Meet Requirements				
		Yes	No	NA	Waiver	Comments
I.	A stormwater management plan, prepared by a registered professional engineer in accordance with the most recent edition of Stormwater Management For Maine: BMPS Technical Design Manual, published by the Maine Department of Environmental Protection, 2006. Another methodology may be used if the applicant can demonstrate it is equally or more applicable to the site. A drainage analysis may be waived by the Planning Board upon request of the applicant and submittal of a letter from a registered professional engineer stating that there will be no adverse impacts to adjacent or downstream properties. <b>[Added 4-27-2007]</b>			NA		The installation of the 30' tall pole adjacent to the existing public utility facility shall have no impact on stormwater runoff.
J.	Any other information or data the reviewing authority determines is necessary to demonstrate compliance with the standards of § 145-75. <b>[Added 4-27-2007]</b>					



# Town of Wells, Maine Staff Review Committee

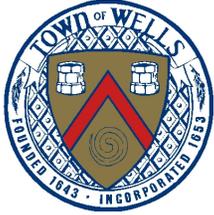
## FINDINGS OF FACTS & DECISIONS

Site Plan Amendment Application for “KK&W Water District Merriland River Pumping and Treatment Facility Pole”

Page 1 of 10

### Article X Site Plan Approval

PROJECT INFORMATION	
<b>General:</b>	<p><b>Project Name:</b> KK&amp;W Water District Merriland River Pumping and Treatment Facility</p> <p><b>Applicant:</b> KK&amp;W Water District, PO Box 88, Kennebunk, ME 04043</p> <p><b>Landowner:</b> Edgar Moore, 95 Bypass Road, Wells, ME 04090</p> <p><b>Location:</b> 71 &amp; 95 Bypass Road, Wells, ME</p> <p><b>Existing Use:</b> Two Single Family Dwelling Units</p> <p><b>Proposed Land Use:</b> Two Single Family Dwelling Units and a 16' x 20' Public Utility Facility with accessory pole</p> <p><b>Tax Parcel ID:</b> Tax Map 150, Lot 13</p> <p><b>Zoning District:</b> Rural District</p> <p><b>Art VII Performance Standards:</b></p> <p><b>Design Engineer:</b> None</p> <p><b>Plan Submission Date:</b> Scott J. Minor, P.E. KK&amp;W Water District, PO Box 88, Kennebunk, ME 04043 12/29/2015</p>
<b>Project Description:</b>	<p>KK&amp;W Water District has submitted a site plan amendment application for the existing 16' x 20' pumping and treatment facility which is considered a Public Facility use within the Rural District. The amendment proposes to install a 30' tall pole adjacent to the existing facility to collect water meter reading data. The facility is located on a 3.67 acre parcel of land. This parcel has two existing single family dwelling units and accessory garages and sheds. The property is served by public sewer and water but the dwelling off of 71 Bypass Road is served by a private septic system. The public utility facility proposed will have no such service connections (i.e. no bathroom) except for water connection for operations. The parcel is located off of Bypass Road and is identified as Tax Map 150, Lot 13. The public utility facility has its own access off of Bypass Road with a paved driveway with paved parking.</p>
<b>Completeness Determination:</b>	05/10/2016
<b>Public Hearing:</b>	Not Applicable
<b>Staff Review Mtg:</b>	01/12/2016; 05/10/2016



# Town of Wells, Maine Staff Review Committee

## FINDINGS OF FACTS & DECISIONS

### Site Plan Amendment Application for “KK&W Water District Merriland River Pumping and Treatment Facility Pole”

Page 2 of 10

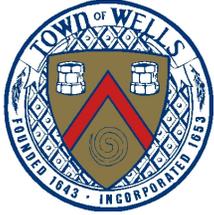
#### PROJECT HISTORY

1. On 12/29/15 the applicant submitted a site plan amendment application and plan for the proposed amendment.
2. On 1/5/16 the Code Enforcement Officer, Jodine Adams, found the proposed use to be permitted within the Rural District and notices were mailed to abutters informing them of the Article V use determination and of the 1/12/16 Staff Review Committee meeting.
3. On 1/7/16 the Planning Office prepared draft Article V, VI, VII, and completeness (145-77) review checklists and a memo for the applicant and Staff Review Committee noting various items to be addressed.
4. On 1/12/16 the Staff Review Committee received the site plan amendment application, granted various waivers and determinations, and voted to continue the workshop,
5. On 1/26/16 the Planning Office emailed the applicant checking into the status of the CMP written permission. The applicant needed more time.
6. On 2/9/16 the Planning Office emailed the applicant checking into the status of the CMP written permission. The applicant needed more time.
7. On 5/3/16 the Planning Office emailed the applicant checking into the status of the CMP written permission. The applicant wanted the SRC to review the application and consider a condition of approval as the CMP written permission was taking longer than expected.
8. On 5/3/16 the applicant submitted a revised site plan to address the 1/7/16 review comments and 1/12/16 SRC review comments.
9. On 5/4/16 the Planning Office prepared updated Article V, VI, and completeness (145-77) review checklists. A draft compliance (145-75)/ Findings of Fact & Decisions document and memo were also prepared.
10. On 5/10/16 the Staff Review Committee voted to find the application complete (145-77), voted to find the application compliant (145-75) and voted to approve and authorize the chairman to sign the Findings of Fact & Decisions with conditions noted and voted to approve and sign the site plan at the end of the meeting.

#### § 145-75. Criteria and Standards

#### Comments

The following standards shall be applied to all applications for site plan approval. These standards are intended to provide a frame of reference for the applicant in the development of his plans and a method of review. These standards shall be applied reasonably and fairly, when applicable, taking into account any extenuating circumstances or special features of the property or its neighborhood.



# Town of Wells, Maine

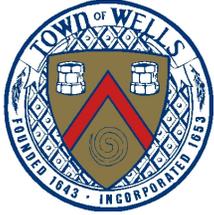
## Staff Review Committee

### FINDINGS OF FACTS & DECISIONS

#### Site Plan Amendment Application for “KK&W Water District Merriland River Pumping and Treatment Facility Pole”

Page 3 of 10

<b>§ 145-75. Criteria and Standards</b>		<b>Comments</b>
<b>A.</b>	<b>Traffic.</b> The proposed development shall provide for safe access to and from public and private roads. Safe access shall be assured by providing an adequate number of exits and entrances that have adequate sight distances and do not conflict with or adversely impact the traffic movements at intersections, schools and other traffic generators. Curb cuts shall be limited to the minimum width necessary for safe entering and exiting. The proposed development shall not have an unreasonable adverse impact on the Town road system and shall provide adequate parking and loading areas. No use or expansion of a use shall receive site plan approval if any parking spaces are located in a public right-of-way or if any travel lane of a state number highway is used as part of the required aisle to access any parking spaces.	<p>The plan identifies speed limits and site distance adequacy on Bypass Road for the existing driveway entrances/exits. No new curb cut is proposed. All deliveries and maintenance vehicles shall use the proposed paved driveway for off street parking.</p> <p>The Staff Review Committee previously approved 1 parking space for this facility use. On 1/12/16 the SRC found the 1 space remains sufficient with the pole addition proposed. Parking area to be pavement. Note #10 states snow removal and storage will occur by plowing past the end of the driveway. The driveway is 12’ wide and is wide enough to accommodate a handicap accessible space. On-street parking is prohibited. All uses and associated parking shall be located on this parcel.</p> <p>The two single family dwelling units are required to provide a total of 4 parking spaces (2 per dwelling).</p> <p><b>THE STAFF REVIEW COMMITTEE FINDS THAT THIS STANDARD SHALL REMAIN MET.</b></p>
<b>B.</b>	<b>Dust, fumes, vapors and gases.</b> Emission of dust, dirt, fly ash, fumes, vapors or gases which could damage human health, animals, vegetation or property or which could soil or stain persons or property, at any point beyond the lot line of the commercial or industrial establishment creating that emission, shall be prohibited.	<p>The property is prohibited from producing dust, fumes, vapors or gases at any point perceptible beyond its lot lines.</p> <p><b>THE STAFF REVIEW COMMITTEE FINDS THAT THIS STANDARD SHALL REMAIN MET.</b></p>
<b>C.</b>	<b>Odor.</b> No land use or establishment shall be permitted to produce offensive or harmful odors perceptible beyond its lot lines, measured either at ground or habitable elevation.	<p>The property is prohibited from producing offensive or harmful odors at any point perceptible beyond its lot lines.</p> <p><b>THE STAFF REVIEW COMMITTEE FINDS THAT THIS STANDARD SHALL REMAIN MET.</b></p>



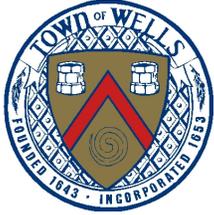
# Town of Wells, Maine Staff Review Committee

## FINDINGS OF FACTS & DECISIONS

### Site Plan Amendment Application for “KK&W Water District Merriland River Pumping and Treatment Facility Pole”

Page 4 of 10

§ 145-75. Criteria and Standards		Comments
D.	<p><b>Glare.</b> No land use or establishment shall be permitted to produce a strong, dazzling light or reflection of that light beyond its lot lines onto neighboring lots or onto any Town way so as to impair the vision of the driver of any vehicle upon that Town way.</p>	<p>The exterior light for the facility building shall be shielded from providing glare onto neighboring lots or rights of ways.</p> <p><b>THE STAFF REVIEW COMMITTEE FINDS THAT THIS STANDARD SHALL REMAIN MET.</b></p>
E.	<p><b>Stormwater runoff.</b> Surface water runoff shall be minimized and detained on site if possible or practicable in accordance with Chapter 202-12F(4) General Standards of the Wells Subdivision Ordinance (wherein the word “site plan” shall be substituted for “subdivision”). If it is not possible to detain water on site, downstream improvements to the channel may be required of the developer to prevent flooding which would be caused by his project. The natural state of watercourses, swales, floodways or rights-of-way shall be maintained as nearly as possible. <b>[Amended 4-27-2007]</b></p>	<p>The installation of the 30' tall pole adjacent to the existing public utility facility shall have no impact on stormwater runoff.</p> <p><b>THE STAFF REVIEW COMMITTEE FINDS THAT THIS STANDARD SHALL REMAIN MET.</b></p>
F.	<p><b>Erosion control.</b> Erosion of soil and sedimentation of watercourses and water bodies shall be minimized by employing the following best-management practices: <b>[Amended 4-27-2007]</b></p>	<p>The Standard Conditions of Approval notes are on the plan. Best Management Practices are a condition of approval.</p> <p>A waiver was previously granted by the SRC of a soil erosion and sedimentation control plan for this property on 4/24/12. See note 7. No changes are proposed that will have an impact or soil erosion or sedimentation.</p> <p><b>THE STAFF REVIEW COMMITTEE FINDS THAT THIS STANDARD SHALL REMAIN MET.</b></p>
(1)	<p>Stripping of vegetation, soil removal and regrading or other development shall be accomplished in such a way as to minimize erosion.</p>	



# Town of Wells, Maine

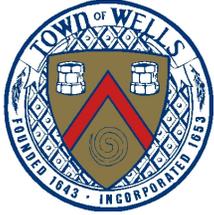
## Staff Review Committee

### FINDINGS OF FACTS & DECISIONS

**Site Plan Amendment Application for “KK&W Water District Merriland River Pumping and Treatment Facility Pole”**

Page 5 of 10

<b>§ 145-75. Criteria and Standards</b>		<b>Comments</b>
(2)	The duration of exposure of the disturbed area shall be kept to a practical minimum.	
(3)	Temporary vegetation and/or mulching shall be used to protect exposed critical areas during development.	
(4)	Permanent (final) vegetation and mechanical erosion control measures in accordance with the standards of the York County Soil and Water Conservation District or the Maine Soil and Water Conservation Commission shall be installed as soon as practicable after construction ends.	
(5)	Until a disturbed area is stabilized, sediment in runoff water shall be trapped by the use of debris basins, silt traps or other acceptable methods as determined by the reviewing authority.	
(6)	The top of a cut or the bottom of a fill section which alters the existing grade by more than two feet shall not be closer than 10 feet to an adjoining lot.	
(7)	During grading operations, methods of dust control shall be employed.	
(8)	The proposed site plan shall prevent soil erosion and sedimentation from entering waterbodies, wetlands, and adjacent properties.	
(9)	The procedures outlined in the erosion and sedimentation control plan shall be implemented during the site preparation, construction, and clean-up stages.	
(10)	Cutting or removal of vegetation along waterbodies shall not increase water temperature or result in shoreline erosion or sedimentation.	



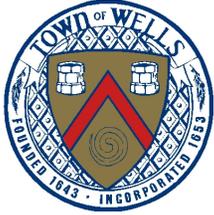
# Town of Wells, Maine Staff Review Committee

## FINDINGS OF FACTS & DECISIONS

### Site Plan Amendment Application for “KK&W Water District Merriland River Pumping and Treatment Facility Pole”

Page 6 of 10

§ 145-75. Criteria and Standards		Comments
	(11) Topsoil shall be considered part of the site plan and shall not be removed from the site except for surplus topsoil from roads, parking areas, and building excavations.	
G.	<b>Setbacks and screening.</b> Parking and loading areas, exposed storage areas, exposed machinery installation and areas used for the storage or collection of discarded automobiles, auto parts, metals or any other articles of salvage or refuse shall have sufficient setbacks and screening to provide a visual buffer sufficient to minimize their adverse impact on the surrounding lots. Where a potential safety hazard to children would be likely to arise, physical screening sufficient to deter small children from entering the premises shall be provided and shall be maintained in good condition.	<p>The existing facility shall meet setback requirements for the Rural District. David J. Hughes, PLS prepared a revision to the “Sketch Showing Easement Conveyed by Edgar Moore to KKWWD” on 1/20/16. This stamped plan provides the building distances from the lot lines. Setbacks are shown to be met. No refuse storage areas are located on the property and therefore no screening of such storage is required. The plan identifies the existing vegetation surround the facility. Said vegetation shall remain. No fencing is proposed or will be required for screening or buffering the residences on this lot. No screening or buffering required for residential abutter on Map 150, Lot 20A due to existing vegetation on this lot. On 1/12/16 the SRC determined that the existing landscaped buffer along Bypass Road is sufficient.</p> <p><b>THE STAFF REVIEW COMMITTEE FINDS THAT THIS STANDARD SHALL REMAIN MET.</b></p>
H.	<b>Explosive materials.</b> No highly flammable or explosive liquids, solids or gases shall be stored in bulk above ground, unless they are stored in compliance with the requirements of the National Fire Protection Association (NFPA) standards.	<p>The utility facility shall be served by electric heat. Any storage of explosive materials shall be stored in compliance with these standards.</p> <p><b>THE STAFF REVIEW COMMITTEE FINDS THAT THIS STANDARD SHALL REMAIN MET.</b></p>



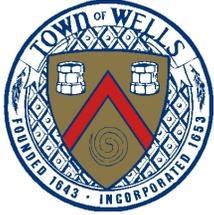
# Town of Wells, Maine Staff Review Committee

## FINDINGS OF FACTS & DECISIONS

### Site Plan Amendment Application for “KK&W Water District Merriland River Pumping and Treatment Facility Pole”

Page 7 of 10

<b>§ 145-75. Criteria and Standards</b>		<b>Comments</b>
I.	<p><b>Water quality.</b> All aboveground outdoor storage facilities for fuel, chemicals, chemical or industrial wastes and potentially harmful raw materials shall be located on reinforced cement and shall be completely enclosed by an impervious dike monolithically poured, which shall be high enough to contain the total volume of liquid kept within the storage area, plus the rain falling into this storage area during a fifty-year storm, so that such liquid shall not be able to spill onto or seep into the ground surrounding the paved storage area. Storage tanks for home heating fuel and diesel fuel, not exceeding 275 gallons in size, shall be exempted from this requirement.</p>	<p>Any storage of fuel, chemicals, wastes or potentially harmful raw materials shall be stored in compliance with these standards.</p> <p><b>THE STAFF REVIEW COMMITTEE FINDS THAT THIS STANDARD SHALL REMAIN MET.</b></p>
J.	<p><b>Preservation of landscape.</b> Unnecessary disturbance of the landscape shall be minimized, insofar as practicable, by minimizing tree removal and any grade changes.</p>	<p>The existing landscape around the existing facility shall be disturbed but unnecessary disturbances shall be minimized. The plan identifies the existing vegetation surrounding the existing facility. Said existing vegetation shall remain.</p> <p>Note #2 details the existing and proposed coverage which includes structural coverage and non-vegetated areas. Coverage proposed to remain at 11%.</p> <p><b>THE STAFF REVIEW COMMITTEE FINDS THAT THIS STANDARD SHALL REMAIN MET.</b></p>



# Town of Wells, Maine

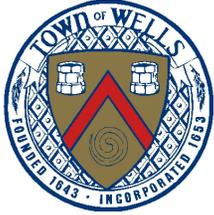
## Staff Review Committee

### FINDINGS OF FACTS & DECISIONS

#### Site Plan Amendment Application for “KK&W Water District Merriland River Pumping and Treatment Facility Pole”

Page 8 of 10

<b>§ 145-75. Criteria and Standards</b>		<b>Comments</b>
<b>K.</b>	<b>Refuse disposal.</b> The applicant shall provide for the disposal of all solid and liquid wastes on a timely basis and in an environmentally safe manner. The review board shall consider the impact of particular industrial or chemical wastes or by-products upon the Wells transfer station (in terms of volume, flammability or toxicity) and may require the applicant to dispose of such wastes elsewhere, in conformance with all applicable state and federal regulations. The board may require the applicant to specify the amount and exact nature of all industrial or chemical wastes to be generated by the proposed operation.	<p>Note #4 states any refuse generated by the utility facility will be removed and properly disposed of offsite.</p> <p><b>THE STAFF REVIEW COMMITTEE FINDS THAT THIS STANDARD SHALL REMAIN MET.</b></p>
<b>L.</b>	<b>Water supply.</b> The applicant shall demonstrate the availability of adequate water supply for fire protection and the consumption needs of the proposed development.	<p>An existing fire hydrant is identified adjacent to this property on Bypass Road. The utility facility is only connected to public water for operational purposes. The proposed pole does not alter this.</p> <p><b>THE STAFF REVIEW COMMITTEE FINDS THAT THIS STANDARD SHALL REMAIN MET.</b></p>
<b>M.</b>	<b>Sewage disposal.</b> The applicant shall provide for the safe disposal of all wastewaters.	<p>The utility facility shall not be connected to any sewage disposal as no sanitary facilities are proposed. The proposed pole does not alter this.</p> <p><b>THE STAFF REVIEW COMMITTEE FINDS THAT THIS STANDARD SHALL REMAIN MET.</b></p>
<b>N.</b>	<b>Fire safety.</b> The site plan shall make adequate provisions for access by fire-fighting equipment and personnel.	<p>The proposed pole does not alter the provisions for access for fire-fighting equipment and personnel.</p> <p><b>THE STAFF REVIEW COMMITTEE FINDS THAT THIS STANDARD SHALL REMAIN MET.</b></p>



# Town of Wells, Maine

## Staff Review Committee

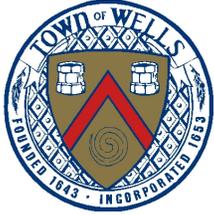
### FINDINGS OF FACTS & DECISIONS

#### Site Plan Amendment Application for “KK&W Water District Merriland River Pumping and Treatment Facility Pole”

Page 9 of 10

#### **Standard Conditions of Approval**

1. Site plan approval shall expire within two years of the date on which the site plan is signed if: (a) a building permit is not obtained for new building construction included as part of an approved site plan. The site plan approval shall be valid for up to 10 years as long as a valid building permit exists for the proposed construction; (b) a use permit is not obtained and the use requested is not established on a site that does not include any new construction. [§145-74F(1)]
2. Approval is conditioned upon compliance by the applicant with the plans and specifications which have been received by the Town in connection with this development proposal.
3. Any approval may include a phasing plan which would allow the issuance of building permits for a multi-building project to be phased according to a proposed time schedule. After two years from the date of approval, no building permit shall be issued for any phase if it does not comply with the requirements of this chapter in effect at the time when the building permit application is filed. [§145-74F(2)]
4. Conditions of approval or notes written on the face of the site plan may be amended only by the reviewing authority that approved the site plan. [§145-74G(1)(b)]
5. Failure to comply with any conditions of approval shall be construed to be a violation of Article X of the Land Use Ordinance and shall be grounds for revoking the approved development plan, initiating legal proceedings to enjoin construction development or any specific activity violating the conditions of plan approval or applying the legal penalties detailed in §145-64. [§145-79A]
6. Whenever sedimentation is caused by stripping vegetation, regrading or other development, it shall be the responsibility of the owner to immediately install sedimentation control devices on his lot and to remove sediment from all adjoining surfaces, drainage systems and watercourses and to repair any drainage, at his expense, as quickly as possible. Any landowner that fails to do so within two weeks after official written notification by the Code Enforcement Officer shall be penalized as set forth in §145-64. [§145-79B]
7. Erosion of soil and sedimentation of watercourses and water bodies shall be minimized by employing the following best-management practices [§145-75F]:
  - (a) Stripping of vegetation, soil removal and regrading or other development shall be accomplished in such a way as to minimize erosion.
  - (b) The duration of exposure of the disturbed area shall be kept to a practical minimum.
  - (c) Temporary vegetation and/or mulching shall be used to protect exposed critical areas during development.
  - (d) Permanent (final) vegetation and mechanical erosion control measures in accordance with the standards of the York County Soil and Water Conservation District or the Maine Soil and Water Conservation Commission shall be installed as soon as practicable after construction ends.
  - (e) Until a disturbed area is stabilized, sediment in runoff water shall be trapped by the use of debris basins, silt traps or other acceptable methods as determined by the reviewing authority.
  - (f) The top of a cut or the bottom of a fill section which alters the existing grade by more than two feet shall not be closer than 10 feet to an adjoining lot.
  - (g) During grading operations, methods of dust control shall be employed.
  - (h) The proposed site plan shall prevent soil erosion and sedimentation from entering waterbodies, wetlands, and adjacent properties.
  - (i) The procedures outlined in the erosion and sedimentation control plan shall be implemented during the site preparation, construction, and clean-up stages.
  - (j) Cutting or removal of vegetation along waterbodies shall not increase water temperature or result in shoreline erosion or sedimentation.
  - (k) Topsoil shall be considered part of the site plan and shall not be removed from the site except for surplus topsoil from roads, parking areas, and building excavations.
8. The property shown on this plan may be developed and used only as depicted on this approved plan. All elements and features of the plan and all representations made by the applicant in the record of the Planning Board and/or Staff Review Committee proceedings are conditions of the approval. No change from the conditions of approval is permitted unless an amended plan is first submitted to and approved by the Planning Board and/or Staff Review Committee.
9. Approval of the application or amendment application does not relieve the applicant from the responsibility to obtain building permits prior to construction and use permits prior to occupancy.
10. It is the applicant's responsibility to contact Dig Safe prior to construction.



# Town of Wells, Maine

## Staff Review Committee

### FINDINGS OF FACTS & DECISIONS

#### Site Plan Amendment Application for "KK&W Water District Merriland River Pumping and Treatment Facility Pole"

Page 10 of 10

11. It is the owner/Homeowners Association/applicant/developer's responsibility, not the Town Code Office or Town Planning Office, to contact the Town Clerk's Office to apply for and maintain any and all business license(s) for the use(s) conducted on this subdivision/site plan parcel(s).
12. Approval of any proposed field changes shall be obtained prior to construction. Said approvals shall be in writing. The Code Enforcement Office shall consult with the Office of Planning and Development prior to approving any field change.
13. Prior to the pouring of a building footing/foundation, the location of each cottage and/or building to be constructed shall be located on the face of the earth and shall be marked with surveyor pins or stakes. The developer shall receive approval of each cottage and/or building location from the Code Enforcement Office prior to the commencement of footing/foundation excavation.
14. If the property will be converted to a condominium form of ownership, the proposed condominium documents must be presented to the Town for review and approval by the Town Attorney. No use permit shall be issued until the Town Attorney has indicated approval of the condominium documents.
15. Upon completion of construction, the applicant shall provide to the Town record as-built drawings of the roadway, drainage, and utility related construction work.
16. The Town of Wells, Maine may employ the services of an engineering firm to assist in the inspection of roads and other infrastructure if, in the opinion of the Code Enforcement Office, the work necessary to insure compliance with Town ordinances or the requirements of this approval are beyond those capacities available by staff. The cost of such additional services will be born by the developer.
17. All components, features, improvements and conditions of site plan approval shall be fully completed prior to any issuance of a certificate of occupancy.

#### **Special Conditions of Approval**

1. Prior to the issuance of a building permit for the proposed pole, the KKW Water District shall obtain written permission from CMP to install the pole within the property's CMP easement area. Said written permission shall be provided to the Code Enforcement and Planning Offices.

Dated at Wells, Maine this \_\_\_\_\_ day of \_\_\_\_\_, 2016

Wells Staff Review Committee

By: \_\_\_\_\_





## Planning & Development

208 Sanford Road, Wells, Maine 04090

Phone: (207) 646-5187, Fax: (207) 646-2935

Website: [www.wellstown.org](http://www.wellstown.org)

<i>Michael G. Livingston, Town Engineer/Planner</i>	<a href="mailto:mlivingston@wellstown.org">mlivingston@wellstown.org</a>
<i>Shannon M. L. Belanger, Planning Assistant</i>	<a href="mailto:sbelanger@wellstown.org">sbelanger@wellstown.org</a>

### Site Plan Amendment Application Memo

Date: May 5, 2016

To: Staff Review Committee

From: Planning Office

Re: Armstrong Fence – Site Plan Amendment Application - Map 40, Lot 3-4

Steve and Lisa Duplisea, owner/applicant has submitted a site plan amendment application prepared by Civil Consultants to eliminate the previously approved 40' x 100' 2-story office and 32' x 48' garage and instead construct a 2-story 1,792 SF Office and a 1-story 1,536 SF Business Contractor/ Business Wholesale/ Warehousing building with associated outdoor equipment and material storage areas and a product display area. The property is located off of 632 North Berwick Road and is within the Light Industrial District. Tax Map 40, Lot 3-4. The parcel is part of the Berwick Road Business Park Subdivision.

#### **§ 145-70. Applicability.**

All uses identified as permitted with site plan approval in Article V shall be subject to the requirements of this article in the following situations:

- A. A new use is proposed on a lot; **YES - Business Office, Contractor, Wholesale and Warehousing uses are proposed. Prior site plan approval expired.**
- B. Resumption of a use which has been discontinued for at least two years is proposed; or
- C. An existing use proposes to expand its gross floor area and/or land area.

#### **§ 145-71. Reviewing authority. [Amended 4-19-1997]**

- A. The reviewing authority for uses or structures requiring site plan review under Article V shall be determined by the Reviewing Authority Chart. **Editor's Note: The Reviewing Authority Chart is included at the end of this chapter. [Amended 4-18-1998] The amendments sought requires Staff Review committee approval.**
- B. If a particular reviewing authority is set forth in sections of the Wells Municipal Code other than Subsection A of this section for a particular use, structure or procedure that conflicts with the above chart, such other sections of the Code will control with respect to the proper review authority.

#### **§ 145-72. Applications. [Amended 4-26-1996]**

Appropriate application forms shall be available from the Office of Planning and Development. All applications shall be filed with the Office of Planning and Development, and the application fee shall be paid to the Town of Wells.

#### **§ 145-73. Fees.**

- A. An application fee as established by the Board of Selectmen, following notice and a public hearing, shall be paid at the time an application is filed. **Applicant submitted an application fee and escrow.**
- B. The applicant shall reimburse the Town for all expenses incurred for notifying abutters of the proposed

site plan and advertising of any public hearing regarding the site plan.

- C. The Town staff or Planning Board may employ the services of technical experts to assist it in reviewing applications and in determining appropriate conditions of approval. The applicant shall be informed of the intended use of such services and their approximate cost. A deposit equal to the estimated cost shall be paid to the Town prior to the employment of any such technical experts. The total cost of any such review shall be paid by the applicant prior to the signing of any approved plans. If the entire deposit is not expended, the remaining balance shall be returned to the applicant. **[Amended 4-26-1996; 11-7-2000]**

**§ 145-74. Review and approval process.**

- G. Amendment to approved site plans.

- (2) Upon receipt of an application to amend a previously approved site plan, the Code Enforcement Officer shall follow the procedure for reviewing a site plan review preapplication as set forth in Subsection A. Notice of the filing of an application to amend an approved site plan shall follow the notice procedure for the filing of a preapplication for site plan review as set forth in

Subsection A. **Procedure for site plan pre-application and application shall be followed.** \*

- (3) The procedure for reviewing applications to amend a previously approved site plan shall follow the procedure for reviewing a site plan review application as set forth in this section unless the reviewing authority determines that the amendment is of such an inconsequential nature that the full site plan review procedure is not necessary. For applications to amend a previously approved site plan, the reviewing authority may combine the preapplication and application steps and may waive the requirement for a public hearing.

- (4) Field changes to approved site plans. **[Added 4-18-1998] Not applicable at this time**

- H. The Planning Board may require that a performance bond or other suitable financial guaranties be posted by the applicant. The form and amount of this bond of financial guaranty must be acceptable to the Town Manager. **Not applicable**

- I. Technical assistance. The Code Enforcement Officer, the Staff Review Committee or the Planning Board may, at its discretion, forward a copy of the application, the plans and all supporting documentation to any appropriate technical expert for review. The review may include traffic impact, roadway and parking area design and construction, stormwater management and erosion and sedimentation control, as well as any other concerns of the reviewing authority. The applicant shall pay for the employment of any such experts. (See § 175-73C.) **Not applicable**

- A. **Preapplication.** **[Amended 4-14-2000]** \*

- (1) Prior to submitting an application, the applicant shall submit to the Office of Planning and Development a preapplication form, sketch plan of the subject property showing existing and proposed buildings, parking areas, lot boundaries, adjacent streets, entrances to the property, water bodies, any other significant features **Plan provided**, a list of names and addresses of abutters to the proposed project **Provided**, and a set of Size 10 envelopes addressed to the abutters **Provided**, affixed with first class postage. The addresses of these abutters shall be obtained from the Town of Wells Tax Assessor's records. Within seven days of receipt of a preapplication by the Office of Planning and Development, the Code Enforcement Officer shall:

- (a) Determine the level of review to be required under § 14-71 and whether or not the proposed use is a permitted use on the subject lot. **On 3/9/16 the Code Officer determined the uses are permitted.**

- (b) If the proposed use is a permitted use on the subject lot: **Abutter notification mailed 3/11/16**

- [1] Send or deliver a notice to the applicant and the abutters of such determinations by first class mail. **YES**

- [2] Certify that said notices have been sent or delivered.

- [3] If the reviewing authority pursuant to § 145-71 is the Code Enforcement Officer,

indicate to the applicant the information the applicant needs to submit as part of the application. **Not applicable**

- [4] If the reviewing authority pursuant to § 145-71 is the Staff Review Committee or the Planning Board, place the applicant on the next available agenda for a preapplication meeting, if a preapplication meeting is requested by the applicant. **Staff Review Committee received site plan amendment application on 4/12/16**
- (c) If the proposed use is not a permitted use on the subject lot, send a notice to the applicant of such determination by first class mail and certify that said notice has been sent.
- (2) The abutters' notification sent pursuant to Subsection A(1)(b)[1] above shall include a copy of the preapplication form and an explanation of the purpose of the notification. **YES** If the reviewing authority is the Staff Review Committee or the Planning Board and a preapplication meeting with the Committee or Board is requested by the applicant, the preapplication meeting date shall also be included in the notification **YES**, and said notification shall be sent or delivered by first class mail at least 10 days before the meeting. **Abutter notification mailed on 3/11/16; meeting was on 4/12/16**
- (3) The Staff Review Committee or the Planning Board at its preapplication meeting with the applicant shall indicate the information which the applicant will be required to submit as part of the application and may schedule an on-site inspection of the property. The Committee or Board may waive any of the submission requirements listed in § 145-77 if it determines that they would not be applicable or are not necessary to determine that the standards of § 145-75 have been or will be met. **To be determined**
- (4) If the applicant does not request a preapplication meeting with the Staff Review Committee or the Planning Board the applicant is encouraged to meet with the Director of Planning and Development to discuss the project and the information the applicant will be expected to submit as part of the application.

### **Recommendations and Conclusion:**

1. The Staff Review Committee should consider the following:
  - a. 3 shade trees shall be planted along Route 9 to comply with the prior (expired) site plan approval. See 145-38B. Tree locations have been revised based on the approximate location of the existing septic system. On 5/10/16 the SRC to review and vote on the existing and proposed landscaping proposed along Route 9
  - b. Revised drainage information has been provided and noted on the plan. See Mike Livingston updated drainage review memo dated 5/5/16.
  - c. The SRC to consider finding the application complete (145-77)
  - d. The SRC to consider finding the application compliant (145-75)
  - e. The SRC to consider approving and signing the Findings of Fact & Decisions and plan

**Town of Wells , Maine**  
**Article X , 145-77 Data Requirements (Completeness Review)**  
**Page 1 of 5**

Project Name/District: Armstrong Fence - Amendment/ Light Industrial District - Tax Map 40, Lot 3-4      Date of Review: 04/07/16; 05/04/16; 05/05/16

Prepared By: Office of Planning & Development      Company Name: Town of Wells

**Article X**  
**Site Plan Approval**

§ 145-77. Data Requirements [Amended 4-26-1996]		Application Meet Requirements				
		Yes	No	NA	Waiver	Comments
Any application presented for approval shall include the following information if applicable:						
A.	A site plan drawn at a scale not smaller than one inch equals 40 feet which shall contain the following information:	Y				Scale is 1" = 30'
(1)	The name and address of the applicant plus the name of the proposed development.	Y				The name of the applicant/owner is noted on the plan.. The name and address of the development are noted.
(2)	Total floor area, ground coverage and location of each proposed building, structure or addition.	Y				The building areas and stories noted (1,536 Contractor, Warehousing, Wholesale use, 1-story) and (1,792 SF Office use, 2-story).  Proposed lot coverage is 37%..See note 7.
(3)	Perimeter survey of the parcel, made and certified by a registered land surveyor licensed in Maine, relating to reference points, showing true or magnetic North, graphic scale, corners of parcel, date of survey and total acreage. The requirement for a certified boundary survey may be waived by the reviewing authority if the proposed construction is located a distance equal to the required setback plus 10 feet from any lot line.				W	A perimeter survey of the parcel prepared by a licensed surveyor was not provided.  The subdivision plan for Berwick Road Business Park, for which this lot is lot #4 within that subdivision, was prepared by Jim Wright, a licensed land surveyor. The subdivision plan was provided and is dated 4/21/2005 and was approved on 6/27/2005 by the Wells Planning Board.  On 4/12/16 the Staff Review Committee granted a waiver and did not require a boundary survey. The as-built location of the existing foundation is approximately located.
(4)	All existing and proposed setback dimensions.	Y				See note 7.

**Town of Wells , Maine**  
**Article X , 145-77 Data Requirements (Completeness Review)**  
**Page 2 of 5**

Project Name/District: Armstrong Fence - Amendment/ Light Industrial District - Tax Map 40, Lot 3-4

Date of Review: 04/07/16; 05/04/16; 05/05/16

Prepared By: Office of Planning & Development

Company Name: Town of Wells

§ 145-77. Data Requirements [Amended 4-26-1996]		Application Meet Requirements				
		Yes	No	NA	Waiver	Comments
(5)	The size, location, direction and intensity of illumination of all major outdoor lighting apparatus and signs.	Y				See note 10. Downward shielded building mounted lights labelled on sheet 1.  Signage will not be lit or illuminated. See note 15.
(6)	The type, size and location of all incineration devices.			NA		No such devices proposed.
(7)	The type, size and location of all machinery likely to generate appreciable noise at the lot lines.			NA		No such machinery proposed near the lot lines.
(8)	The location, type and size of all existing and proposed catch basins, storm drainage facilities, wetlands, streams and watercourses and all utilities, both above and below ground.	Y				The existing septic tank and pump is identified approximately based on septic system designed provided. See also note 14. The well location is depicted.  Existing and proposed drainage system depicted. Existing wetland depicted. Existing utility pole depicted across Route 9.
(9)	All existing contours and proposed finished grade elevations of the portions of the site which will be altered and the system of drainage proposed to be constructed. Contour intervals shall be specified by the reviewing authority. This requirement may be waived by the reviewing authority if no additional lot coverage is proposed or the proposed lot coverage is less than 30% and has an area of less than 15,000 square feet.	Y				The plan depicts 1 foot proposed contours. (Assumed datum, see note 3 on sheet 1).
(10)	The location, type and size of all curbs, sidewalks, driveways, fences, retaining walls and parking space areas and the layouts thereof, together with the dimensions.	Y				Spaces are labelled as 9' x 18.5' in dimension. The aisle width requirement for 90 degree spaces is 26'. The ADA sign is labelled on the plan.  A 6' solid fence is shown adjacent to the parking lot and building for the outdoor material and equipment storage area for the Business Contractor use.  A fence is proposed to be extended along the southerly lot line.

**Town of Wells , Maine**  
**Article X , 145-77 Data Requirements (Completeness Review)**  
**Page 3 of 5**

Project Name/District: Armstrong Fence - Amendment/ Light Industrial District - Tax Map 40, Lot 3-4

Date of Review: 04/07/16; 05/04/16; 05/05/16

Prepared By: Office of Planning & Development

Company Name: Town of Wells

§ 145-77. Data Requirements [Amended 4-26-1996]		Application Meet Requirements				
		Yes	No	NA	Waiver	Comments
(11)	All landscaped areas, fencing and size and type of plant material upon the premises.	Y*				<p>This commercial property abuts other commercial properties. A visual screen along abutting lot lines of residential uses is not necessary as no such abutters exist.</p> <p>A 40' landscaped buffer strip along Route 9 is shown on sheet L1. 3 shade trees shall be planted along Route 9 to comply with the prior site plan approval. See 145-38B. Tree locations have been revised based on the approximate location of the existing septic system. On 5/10/16 the <b><u>SRC to review and vote on the existing and proposed landscaping proposed along Route 9.</u></b></p> <p>See note 16. An on-site dumpster is not proposed.</p> <p>The existing fence along the southwesterly lot line is proposed to be extended to the wetland.</p>
(12)	All existing or proposed rights-of-way, easements and other legal restrictions which may affect the premises in question.	Y				Common drainage and driveway easements labelled on the site plan. Deed copies have been provided.
(13)	The locations, names and widths of all existing and proposed streets abutting the premises.	Y				Route 9 and Swamp John Road labeled. Route 9 width labelled.
(14)	The lot lines of all lots abutting the proposed development, including those lots across the street, together with the names on file in the Town offices as of the date of the application.	Y				Abutters labelled.
(15)	An appropriate place for the signature(s) of the reviewing authority.	Y				
B.	Documentation of right, title or interest in the proposed site.	Y				Deed copies provided.

**Town of Wells , Maine**  
**Article X , 145-77 Data Requirements (Completeness Review)**  
**Page 4 of 5**

Project Name/District: Armstrong Fence - Amendment/ Light Industrial District - Tax Map 40, Lot 3-4

Date of Review: 04/07/16; 05/04/16; 05/05/16

Prepared By: Office of Planning & Development

Company Name: Town of Wells

§ 145-77. Data Requirements [Amended 4-26-1996]		Application Meet Requirements				
		Yes	No	NA	Waiver	Comments
C.	An on-site soils investigation report by a Maine Department of Human Services licensed site evaluator (unless the site is to be served by public sewer). The report shall identify the types of soil, location of test pits and proposed location and design for the subsurface disposal system.	Y				The existing septic tank and pump is identified approximately based on septic system designed provided. See also note 14.
D.	The amount and type of any raw, finished or waste materials to be stored outside of roofed buildings, including their physical and chemical properties, if appropriate.	Y				Site plan depicts various outdoor storage areas for materials, display and equipment.
E.	If the proposed use will be connected to the Wells Sanitary District's sewer system, a letter from the Sanitary District stating that adequate line and plant capacity to dispose of the generated sewage will be available.			NA		Not served by public sewer (WSD).
F.	If the proposed use will be connected to the Kennebunk, Kennebunkport and Wells Water District water system, a letter from the Water District stating that adequate line and supply capacity to serve the proposed use will be available.			NA		Property served by private on-site well. Well location was field verified. See new well location on sheet L1.
G.	Traffic data. Only the Planning Board may require that a site plan application include a traffic engineering study should the project be considered one of substantial magnitude along any of the Town's state highways where fast-moving traffic occurs (i.e., Route Nos. 1, 109, 9, 9-A and 9-B). Should a traffic study be requested by the Planning Board, the following data shall be included:			NA		The Staff Review Committee cannot require a traffic study.
(1)	The estimated peak-hour traffic to be generated by the proposal.					
(2)	Existing traffic counts and volumes on surrounding roads.					
(3)	Traffic accident data covering a recent three-year period.					
(4)	The capacity of surrounding roads, municipal facilities, parking and any improvements which may be necessary on such roads and facilities to accommodate anticipated traffic generation.					
(5)	The need for traffic signals and signs or other directional markers to regulate anticipated traffic.					

**Town of Wells , Maine**  
**Article X , 145-77 Data Requirements (Completeness Review)**  
**Page 5 of 5**

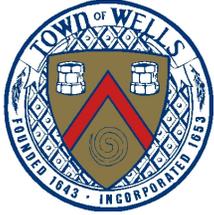
Project Name/District: Armstrong Fence - Amendment/ Light Industrial District - Tax Map 40, Lot 3-4

Date of Review: 04/07/16; 05/04/16; 05/05/16

Prepared By: Office of Planning & Development

Company Name: Town of Wells

§ 145-77. Data Requirements [Amended 4-26-1996]		Application Meet Requirements				
		Yes	No	NA	Waiver	Comments
H.	A soil erosion and sedimentation control plan, prepared in accordance with the Maine Erosion and Sedimentation Control Handbook for Construction: Best Management Practices, published by the Maine Department of Environmental Protection and the Cumberland County Soil and Water Conservation District, 1991. <b>[Amended 4-27-2007]</b>	Y				Best Management Practices are a standard condition of approval. The Standard terms and conditions of the Town of Wells appear on sheet 1 of the prior approvals.
I.	A stormwater management plan, prepared by a registered professional engineer in accordance with the most recent edition of Stormwater Management For Maine: BMPS Technical Design Manual, published by the Maine Department of Environmental Protection, 2006. Another methodology may be used if the applicant can demonstrate it is equally or more applicable to the site. A drainage analysis may be waived by the Planning Board upon request of the applicant and submittal of a letter from a registered professional engineer stating that there will be no adverse impacts to adjacent or downstream properties. <b>[Added 4-27-2007]</b>	Y				A stormwater analysis and management plan has been provided by Civil Consultants dated February 2016, by Neil J. Rapoza, PE.  Stormwater runoff has been reviewed by the Town Engineer. See memo dated 4/20/16 and revised memo dated 5-5-2016.
J.	Any other information or data the reviewing authority determines is necessary to demonstrate compliance with the standards of § 145-75. <b>[Added 4-27-2007]</b>					



# Town of Wells, Maine

## Staff Review Committee

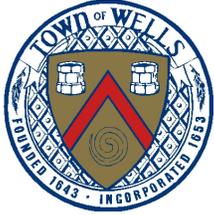
### FINDINGS OF FACTS & DECISIONS

#### Site Plan Application for “Armstrong Fence”

Page 1 of 25

### Article X Site Plan Approval

PROJECT INFORMATION	
<b>General:</b>	<p><b>Project Name:</b> Armstrong Fence</p> <p><b>Applicant:</b> Steve &amp; Lisa Duplisea, 118 Natanis Ridge Circle, Wells, ME 04090</p> <p><b>Landowner:</b> Steve &amp; Lisa Duplisea, 118 Natanis Ridge Circle, Wells, ME 04090</p> <p><b>Location:</b> 632 North Berwick Road</p> <p><b>Existing Use:</b> 8,000 SF Business Office, 4,864 SF Business Contractor/ Warehouse/ Business Wholesale use with associated parking (site plan approval expired)</p> <p><b>Proposed Land Use:</b> 1,792 SF Business Office, 1,536 SF Business Contractor/ Warehouse/ Business Wholesale use with associated parking and outdoor storage and display areas</p> <p><b>Tax Parcel ID:</b> Tax Map 40, Lot 3-4</p> <p><b>Zoning District:</b> Light Industrial District (per the 6/27/2005 Planning Board approved subdivision for Berwick Road Business Park)</p> <p><b>Art VII Performance Standard:</b> None</p> <p><b>Design Engineer:</b> Civil Consultants, PO Box 100, S. Berwick, ME 03908</p> <p><b>Plan Submission Date:</b> March 9, 2016</p>
<b>Project Description:</b>	<p>Steve and Lisa Duplisea, owner/applicant has submitted a site plan amendment application prepared by Civil Consultants to eliminate the previously approved 40' x 100' 2-story office and 32' x 48' garage and instead construct a 2-story 1,792 SF Office and a 1-story 1,536 SF Business Contractor/ Business Wholesale/ Warehousing building with associated outdoor equipment and material storage areas and a product display area. Prior site plan approval expired. The property is located off of 632 North Berwick Road and is within the Light Industrial District. Tax Map 40, Lot 3-4. The parcel is part of the Berwick Road Business Park Subdivision.</p>
<b>Completeness Determination:</b>	3/21/2016
<b>Public Hearing:</b>	4/4/2016
<b>Staff Review Mtg:</b>	4/12/16 and 5/10/16



# Town of Wells, Maine

## Staff Review Committee

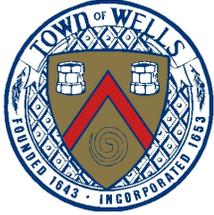
### FINDINGS OF FACTS & DECISIONS

#### Site Plan Application for "Armstrong Fence"

Page 2 of 25

#### PROJECT HISTORY

1. On 3/9/16 the applicant submitted a site plan amendment application, plan and fee to the Planning Office.
2. On 3/9/16 the Code Enforcement Officer prepared an Article V use determination find the use proposed to be permitted within the Light Industrial District.
3. On 3/11/16 the Planning Office mailed the use determination, notice of reviewing authority, and notice of the 4/12/16 Staff Review Committee meeting to abutters.
4. On 4/7/16 the Planning Office prepared Article V, VI, VII review checklists and a draft completeness (145-77) review checklist. The Planning Office provided marked up plans with recommendations to be addressed by the applicant.
5. On 4/12/16 the Staff Review Committee received the Site Plan Amendment Application, voted to waive the requirement of an updated boundary survey, and voted to continue the workshop
6. On 4/18/16 the applicant submitted revised plans to the Planning Office for review.
7. On 4/20/16 the Town Engineer prepared a drainage memo with recommendations to be addressed by the applicant's engineer.
8. On 4/27/16 a revised site plan submission was provided to the Planning Office from the applicant.
9. On 5/4/16 the Planning Office received the septic system design as requested.
10. On 5/4/16 the Planning Office provided the applicant with some plan change recommendations.
11. On 5/5/16 the applicant submitted a revised site plan to the Planning Office addressing the review comments.
12. On 5/5/16 the Planning Office prepared updated Article V, VI, VII, and completeness review checklists. A draft compliance (145-75)/ Findings of Fact & Decisions document and memo were also prepared.
13. On 5/10/16 the Staff Review Committee conducted a workshop and voted to find the landscaping/buffering proposed to be sufficient, voted to find the application complete (145-77) and compliant (145-75), voted to approve and sign the Findings of Fact & Decisions with noted conditions of approval, and voted to sign and approve the site plan.



# Town of Wells, Maine

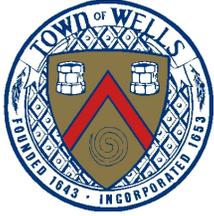
## Staff Review Committee

### FINDINGS OF FACTS & DECISIONS

#### Site Plan Application for “Armstrong Fence”

Page 3 of 25

§ 145-75. Criteria and Standards	Comments
<p>The following standards shall be applied to all applications for site plan approval. These standards are intended to provide a frame of reference for the applicant in the development of his plans and a method of review. These standards shall be applied reasonably and fairly, when applicable, taking into account any extenuating circumstances or special features of the property or its neighborhood.</p>	
<p><b>A. Traffic.</b> The proposed development shall provide for safe access to and from public and private roads. Safe access shall be assured by providing an adequate number of exits and entrances that have adequate sight distances and do not conflict with or adversely impact the traffic movements at intersections, schools and other traffic generators. Curb cuts shall be limited to the minimum width necessary for safe entering and exiting. The proposed development shall not have an unreasonable adverse impact on the Town road system and shall provide adequate parking and loading areas. No use or expansion of a use shall receive site plan approval if any parking spaces are located in a public right-of-way or if any travel lane of a state number highway is used as part of the required aisle to access any parking spaces.</p>	<p>See note 7. Minimum street frontage noted to be 100 feet. 200.3' provided. On-street parking is prohibited. On-site parking is proposed. Spaces are shown to be 9' x 18.5' in dimension. The aisle width requirement for 90 degree spaces is 26'. A total of 15 parking spaces are required. Based on 15 spaces, 1 of the 10 shall be handicap accessible. 1 ADA compliant space is proposed. An ADA compliant sign is noted and detailed on sheet L2.</p> <p>Gross floor area of the Business Contractor/ Warehousing use is 1,536 SF which requires 2 spaces, but no less than 3. See note 12. The 1,792 sf Business Office use for up to 3 tenants requires 12 parking spaces. See note 12. A loading bay is not proposed. Snow storage areas are labelled on the plan. Areas that could be used for parking shall be on pavement. The proposed building is located at least 110 feet from Route 9. The proposed parking is located at least 60 feet from Route 9. Plan notes the speed limit of Route 9 to be 50 MPH. Site distances are noted and exceed the 500' minimum. Route 9 and Swamp John Road labeled. Route 9 width labelled. The Staff Review Committee cannot require a traffic study.</p> <p><b>THE STAFF REVIEW COMMITTEE FINDS THAT THIS STANDARD SHALL BE MET.</b></p>

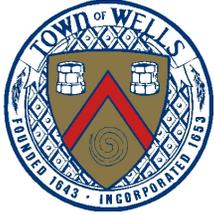


# Town of Wells, Maine

## Staff Review Committee

**FINDINGS OF FACTS & DECISIONS**  
**Site Plan Application for “Armstrong Fence”**  
**Page 4 of 25**

<b>§ 145-75. Criteria and Standards</b>		<b>Comments</b>
<b>B.</b>	<b>Dust, fumes, vapors and gases.</b> Emission of dust, dirt, fly ash, fumes, vapors or gases which could damage human health, animals, vegetation or property or which could soil or stain persons or property, at any point beyond the lot line of the commercial or industrial establishment creating that emission, shall be prohibited.	<p>This property is prohibited from emitting such dust, fumes, vapors or gases at any point perceptible beyond its lot lines. No outside storage of products that produce such emissions are proposed.</p> <p><b>THE STAFF REVIEW COMMITTEE FINDS THAT THIS STANDARD SHALL BE MET.</b></p>
<b>C.</b>	<b>Odor.</b> No land use or establishment shall be permitted to produce offensive or harmful odors perceptible beyond its lot lines, measured either at ground or habitable elevation.	<p>This property is prohibited from producing such offensive or harmful odors at any point perceptible beyond its lot lines, as measured at ground or habitable elevation. No outside storage of products that produce odors are proposed.</p> <p><b>THE STAFF REVIEW COMMITTEE FINDS THAT THIS STANDARD SHALL BE MET.</b></p>
<b>D.</b>	<b>Glare.</b> No land use or establishment shall be permitted to produce a strong, dazzling light or reflection of that light beyond its lot lines onto neighboring lots or onto any Town way so as to impair the vision of the driver of any vehicle upon that Town way.	<p>See note 10. Downward shielded building mounted lights labelled on sheet 1.</p> <p>Signage will not be lit or illuminated. See note 15.</p> <p><b>THE STAFF REVIEW COMMITTEE FINDS THAT THIS STANDARD SHALL BE MET.</b></p>

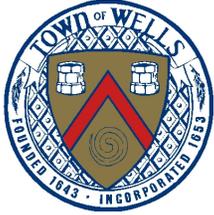


# Town of Wells, Maine

## Staff Review Committee

**FINDINGS OF FACTS & DECISIONS**  
**Site Plan Application for “Armstrong Fence”**  
**Page 5 of 25**

§ 145-75. Criteria and Standards		Comments
<b>E.</b>	<p><b>Stormwater runoff.</b> Surface water runoff shall be minimized and detained on site if possible or practicable in accordance with Chapter 202-12F(4) General Standards of the Wells Subdivision Ordinance (wherein the word “site plan” shall be substituted for “subdivision”). If it is not possible to detain water on site, downstream improvements to the channel may be required of the developer to prevent flooding which would be caused by his project. The natural state of watercourses, swales, floodways or rights-of-way shall be maintained as nearly as possible. <b>[Amended 4-27-2007]</b></p>	<p>A stormwater analysis and management plan has been provided by Civil Consultants dated February 2016, by Neil J. Rapoza, PE.</p> <p>Stormwater runoff has been reviewed by the Town Engineer. See memo dated 4/20/16 and revised memo dated 5-5-2016.</p> <p>Common drainage and driveway easements labelled on the site plan. Deed copies have been provided.</p> <p><b>THE STAFF REVIEW COMMITTEE FINDS THAT THIS STANDARD SHALL BE MET.</b></p>
<b>F.</b>	<p><b>Erosion control.</b> Erosion of soil and sedimentation of watercourses and water bodies shall be minimized by employing the following best-management practices: <b>[Amended 4-27-2007]</b></p>	<p>Best Management Practices are a standard condition of approval. The Standard terms and conditions of the Town of Wells appear on sheet 1 of the prior approvals.</p> <p><b>THE STAFF REVIEW COMMITTEE FINDS THAT THIS STANDARD SHALL BE MET.</b></p>
	(1) Stripping of vegetation, soil removal and regrading or other development shall be accomplished in such a way as to minimize erosion.	
	(2) The duration of exposure of the disturbed area shall be kept to a practical minimum.	
	(3) Temporary vegetation and/or mulching shall be used to protect exposed critical areas during development.	

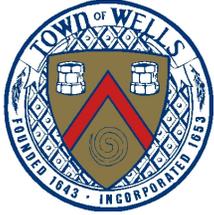


# Town of Wells, Maine

## Staff Review Committee

**FINDINGS OF FACTS & DECISIONS**  
**Site Plan Application for “Armstrong Fence”**  
**Page 6 of 25**

<b>§ 145-75. Criteria and Standards</b>		<b>Comments</b>
(4)	Permanent (final) vegetation and mechanical erosion control measures in accordance with the standards of the York County Soil and Water Conservation District or the Maine Soil and Water Conservation Commission shall be installed as soon as practicable after construction ends.	
(5)	Until a disturbed area is stabilized, sediment in runoff water shall be trapped by the use of debris basins, silt traps or other acceptable methods as determined by the reviewing authority.	
(6)	The top of a cut or the bottom of a fill section which alters the existing grade by more than two feet shall not be closer than 10 feet to an adjoining lot.	
(7)	During grading operations, methods of dust control shall be employed.	
(8)	The proposed site plan shall prevent soil erosion and sedimentation from entering waterbodies, wetlands, and adjacent properties.	
(9)	The procedures outlined in the erosion and sedimentation control plan shall be implemented during the site preparation, construction, and clean-up stages.	
(10)	Cutting or removal of vegetation along waterbodies shall not increase water temperature or result in shoreline erosion or sedimentation.	
(11)	Topsoil shall be considered part of the site plan and shall not be removed from the site except for surplus topsoil from roads, parking areas, and building excavations.	



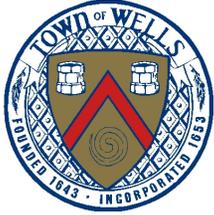
# Town of Wells, Maine

## Staff Review Committee

---

**FINDINGS OF FACTS & DECISIONS**  
**Site Plan Application for "Armstrong Fence"**  
**Page 7 of 25**

§ 145-75. Criteria and Standards	Comments
----------------------------------	----------



---

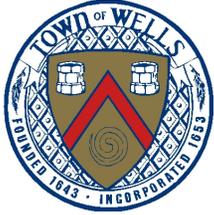
# Town of Wells, Maine

## Staff Review Committee

---

**FINDINGS OF FACTS & DECISIONS**  
**Site Plan Application for "Armstrong Fence"**  
**Page 8 of 25**

<b>§ 145-75. Criteria and Standards</b>	<b>Comments</b>
---	-----------------



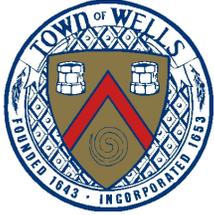
# Town of Wells, Maine

## Staff Review Committee

---

**FINDINGS OF FACTS & DECISIONS**  
**Site Plan Application for "Armstrong Fence"**  
**Page 9 of 25**

<b>§ 145-75. Criteria and Standards</b>	<b>Comments</b>
---	-----------------



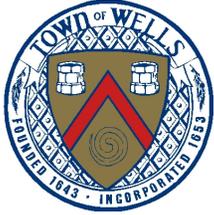
# Town of Wells, Maine

## Staff Review Committee

---

**FINDINGS OF FACTS & DECISIONS**  
**Site Plan Application for "Armstrong Fence"**  
**Page 10 of 25**

§ 145-75. Criteria and Standards	Comments
----------------------------------	----------



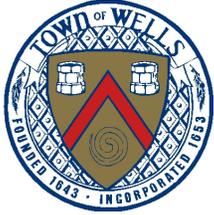
# Town of Wells, Maine

## Staff Review Committee

---

**FINDINGS OF FACTS & DECISIONS**  
**Site Plan Application for "Armstrong Fence"**  
**Page 11 of 25**

<b>§ 145-75. Criteria and Standards</b>	<b>Comments</b>
---	-----------------



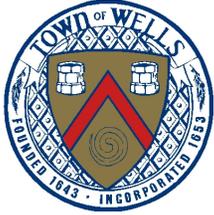
# Town of Wells, Maine

## Staff Review Committee

---

**FINDINGS OF FACTS & DECISIONS**  
**Site Plan Application for "Armstrong Fence"**  
**Page 12 of 25**

§ 145-75. Criteria and Standards	Comments
----------------------------------	----------



---

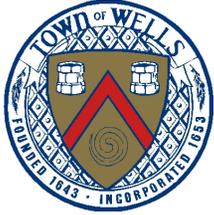
# Town of Wells, Maine

## Staff Review Committee

---

**FINDINGS OF FACTS & DECISIONS**  
**Site Plan Application for "Armstrong Fence"**  
**Page 13 of 25**

§ 145-75. Criteria and Standards	Comments
----------------------------------	----------



---

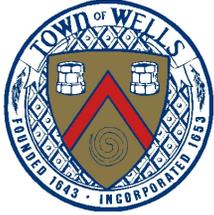
# Town of Wells, Maine

## Staff Review Committee

---

**FINDINGS OF FACTS & DECISIONS**  
**Site Plan Application for "Armstrong Fence"**  
**Page 14 of 25**

<b>§ 145-75. Criteria and Standards</b>	<b>Comments</b>
---	-----------------



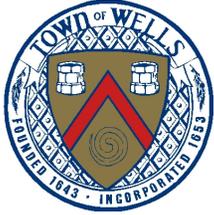
# Town of Wells, Maine

## Staff Review Committee

---

**FINDINGS OF FACTS & DECISIONS**  
**Site Plan Application for "Armstrong Fence"**  
**Page 15 of 25**

§ 145-75. Criteria and Standards	Comments
----------------------------------	----------



---

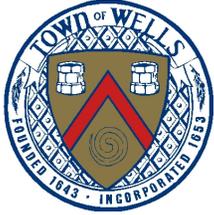
# Town of Wells, Maine

## Staff Review Committee

---

**FINDINGS OF FACTS & DECISIONS**  
**Site Plan Application for "Armstrong Fence"**  
**Page 16 of 25**

§ 145-75. Criteria and Standards	Comments
----------------------------------	----------



---

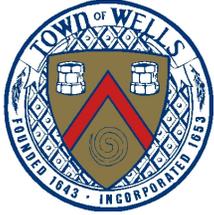
# Town of Wells, Maine

## Staff Review Committee

---

**FINDINGS OF FACTS & DECISIONS**  
**Site Plan Application for "Armstrong Fence"**  
**Page 17 of 25**

§ 145-75. Criteria and Standards	Comments
----------------------------------	----------

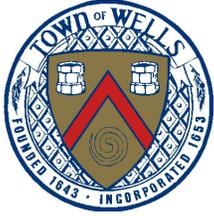


# Town of Wells, Maine

## Staff Review Committee

**FINDINGS OF FACTS & DECISIONS**  
**Site Plan Application for “Armstrong Fence”**  
**Page 18 of 25**

<b>§ 145-75. Criteria and Standards</b>		<b>Comments</b>
	exposed storage areas, exposed machinery installation and areas used for the storage or collection of discarded automobiles, auto parts, metals or any other articles of salvage or refuse shall have sufficient setbacks and screening to provide a visual buffer sufficient to minimize their adverse impact on the surrounding lots. Where a potential safety hazard to children would be likely to arise, physical screening sufficient to deter small children from entering the premises shall be provided and shall be maintained in good condition.	
(1)	Stripping of vegetation, soil removal and regrading or other development shall be accomplished in such a way as to minimize erosion.	
(2)	The duration of exposure of the disturbed area shall be kept to a practical minimum.	
(3)	Temporary vegetation and/or mulching shall be used to protect exposed critical areas during development.	
(4)	Permanent (final) vegetation and mechanical erosion control measures in accordance with the standards of the York County Soil and Water Conservation District or the Maine Soil and Water Conservation Commission shall be installed as soon as practicable after construction ends.	
(5)	Until a disturbed area is stabilized, sediment in runoff water shall be trapped by the use of debris basins, silt traps or other acceptable methods as determined by the reviewing authority.	
(6)	The top of a cut or the bottom of a fill section which alters the existing grade by more than two feet shall not be closer than 10 feet to an adjoining lot.	

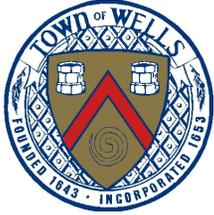


# Town of Wells, Maine

## Staff Review Committee

**FINDINGS OF FACTS & DECISIONS**  
**Site Plan Application for "Armstrong Fence"**  
**Page 19 of 25**

<b>§ 145-75. Criteria and Standards</b>		<b>Comments</b>
(7)	During grading operations, methods of dust control shall be employed.	
(8)	The proposed site plan shall prevent soil erosion and sedimentation from entering waterbodies, wetlands, and adjacent properties.	
(9)	The procedures outlined in the erosion and sedimentation control plan shall be implemented during the site preparation, construction, and clean-up stages.	
(10)	Cutting or removal of vegetation along waterbodies shall not increase water temperature or result in shoreline erosion or sedimentation.	
(11)	Topsoil shall be considered part of the site plan and shall not be removed from the site except for surplus topsoil from roads, parking areas, and building excavations.	

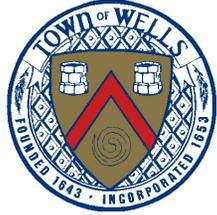


# Town of Wells, Maine

## Staff Review Committee

**FINDINGS OF FACTS & DECISIONS**  
**Site Plan Application for “Armstrong Fence”**  
**Page 20 of 25**

<b>§ 145-75. Criteria and Standards</b>	<b>Comments</b>
<p><b>G. Setbacks and screening.</b> Parking and loading areas, exposed storage areas, exposed machinery installation and areas used for the storage or collection of discarded automobiles, auto parts, metals or any other articles of salvage or refuse shall have sufficient setbacks and screening to provide a visual buffer sufficient to minimize their adverse impact on the surrounding lots. Where a potential safety hazard to children would be likely to arise, physical screening sufficient to deter small children from entering the premises shall be provided and shall be maintained in good condition.</p>	<p>See note 7. Parcel does not abut a railroad ROW. Parcel does not abut a known cemetery.</p> <p>This commercial property abuts other commercial properties. A visual screen along abutting lot lines of residential uses is not necessary.</p> <p>A 40' landscaped buffer strip along Route 9 is shown on sheet L1. 3 shade trees shall be planted along Route 9 to comply with the prior site plan approval. See 145-38B. Tree locations have been revised based on the approximate location of the existing septic system. On 5/10/16 the <b><u>SRC to review and vote on the existing and proposed landscaping proposed along Route 9.</u></b></p> <p>See note 16. An on-site dumpster is not proposed.</p> <p>A 40' landscaped buffer along Route 9 is required. Sheet L1 identifies the first 40' of the property from Route 9 shall consist of the landscaped planting areas, 4 existing shade trees, proposes 3 shade tree plantings. All plantings shall meet the 2 inch diameter at breast height requirement and shall be less than 30 feet apart.</p> <p>A 6' solid fence is shown adjacent to the parking lot and building for the outdoor material and equipment storage area for the Business Contractor use. A fence is proposed to be extended along the southerly lot line.</p> <p><b>THE STAFF REVIEW COMMITTEE FINDS THAT THIS STANDARD SHALL BE MET.</b></p>

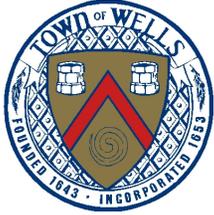


# Town of Wells, Maine

## Staff Review Committee

**FINDINGS OF FACTS & DECISIONS**  
**Site Plan Application for “Armstrong Fence”**  
**Page 21 of 25**

<b>§ 145-75. Criteria and Standards</b>		<b>Comments</b>
<b>H.</b>	<b>Explosive materials.</b> No highly flammable or explosive liquids, solids or gases shall be stored in bulk above ground, unless they are stored in compliance with the requirements of the National Fire Protection Association (NFPA) standards.	<p>No exterior fuel storage proposed. Any explosive materials stored on this property shall be stored in compliance with NFPA standards.</p> <p><b>THE STAFF REVIEW COMMITTEE FINDS THAT THIS STANDARD SHALL BE MET.</b></p>
<b>I.</b>	<b>Water quality.</b> All aboveground outdoor storage facilities for fuel, chemicals, chemical or industrial wastes and potentially harmful raw materials shall be located on reinforced cement and shall be completely enclosed by an impervious dike monolithically poured, which shall be high enough to contain the total volume of liquid kept within the storage area, plus the rain falling into this storage area during a fifty-year storm, so that such liquid shall not be able to spill onto or seep into the ground surrounding the paved storage area. Storage tanks for home heating fuel and diesel fuel, not exceeding 275 gallons in size, shall be exempted from this requirement.	<p>Water quality standards shall be complied with.</p> <p><b>THE STAFF REVIEW COMMITTEE FINDS THAT THIS STANDARD SHALL BE MET.</b></p>
<b>J.</b>	<b>Preservation of landscape.</b> Unnecessary disturbance of the landscape shall be minimized, insofar as practicable, by minimizing tree removal and any grade changes.	<p>Proposed lot coverage is 37%. See note 7. The plan depicts 1 foot proposed contours. (Assumed datum, see note 3 on sheet 1).</p> <p><b>THE STAFF REVIEW COMMITTEE FINDS THAT THIS STANDARD SHALL BE MET.</b></p>

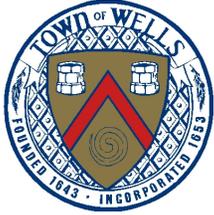


# Town of Wells, Maine

## Staff Review Committee

**FINDINGS OF FACTS & DECISIONS**  
**Site Plan Application for “Armstrong Fence”**  
**Page 22 of 25**

<b>§ 145-75. Criteria and Standards</b>		<b>Comments</b>
<b>K.</b>	<b>Refuse disposal.</b> The applicant shall provide for the disposal of all solid and liquid wastes on a timely basis and in an environmentally safe manner. The review board shall consider the impact of particular industrial or chemical wastes or by-products upon the Wells transfer station (in terms of volume, flammability or toxicity) and may require the applicant to dispose of such wastes elsewhere, in conformance with all applicable state and federal regulations. The board may require the applicant to specify the amount and exact nature of all industrial or chemical wastes to be generated by the proposed operation.	<p>See note 16. An on-site dumpster is not proposed.</p> <p><b>THE STAFF REVIEW COMMITTEE FINDS THAT THIS STANDARD SHALL BE MET.</b></p>
<b>L.</b>	<b>Water supply.</b> The applicant shall demonstrate the availability of adequate water supply for fire protection and the consumption needs of the proposed development.	<p>Property served by private on-site well. Well location was field verified. See new well location on sheet L1.</p> <p><b>THE STAFF REVIEW COMMITTEE FINDS THAT THIS STANDARD SHALL BE MET.</b></p>
<b>M.</b>	<b>Sewage disposal.</b> The applicant shall provide for the safe disposal of all wastewaters.	<p>The property shall be served by an on-site private subsurface wastewater disposal system.</p> <p><b>THE STAFF REVIEW COMMITTEE FINDS THAT THIS STANDARD SHALL BE MET.</b></p>



# Town of Wells, Maine

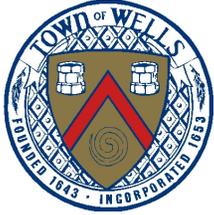
## Staff Review Committee

**FINDINGS OF FACTS & DECISIONS**  
**Site Plan Application for “Armstrong Fence”**  
**Page 23 of 25**

<b>§ 145-75. Criteria and Standards</b>		<b>Comments</b>
<b>N.</b>	<p><b>Fire safety.</b> The site plan shall make adequate provisions for access by fire-fighting equipment and personnel.</p>	<p>A knox box is recommended to be installed. Prior to installation the developer shall contact the Fire Department regarding placement. No parking is to be permitted along North Berwick Road. The nearest fire pond/hydrant location is noted on the site plan. See also note 13. See sheet L2 turning radius detail which depicts sufficient on-site turning availability for the fire trucks. A draft Fire Chief letter dated 5/5/15 was provided.</p> <p style="text-align: center;"><b>THE STAFF REVIEW COMMITTEE FINDS THAT THIS STANDARD SHALL BE MET.</b></p>

**Standard Conditions of Approval**

1. Site Plan approval secured under the provisions of this chapter shall expire within 10 years from the date on which the site plan is signed if all aspects of the site plan approval are not fully completed and established. Any site plan approval may include a phasing plan according to an approved time schedule not to exceed 10 years from the date on which the site plan is signed. Site plan approval shall expire if a use has been established and then discontinued for two years or more. [§145-74F]
2. Approval is conditioned upon compliance by the applicant with the plans and specifications which have been received by the Town in connection with this development proposal.
3. Conditions of approval or notes written on the face of the site plan may be amended only by the reviewing authority that approved the site plan. [§145-74G(1)(b)]
4. Failure to comply with any conditions of approval shall be construed to be a violation of Article X of the Land Use Ordinance and shall be grounds for revoking the approved development plan, initiating legal proceedings to enjoin construction development or any specific activity violating the conditions of plan approval or applying the legal penalties detailed in §145-64. [§145-79A]
5. Whenever sedimentation is caused by stripping vegetation, regrading or other development, it shall be the responsibility of the owner to immediately install sedimentation control devices on his lot and to remove sediment from all adjoining surfaces, drainage systems and watercourses and to repair any drainage, at his expense, as quickly as possible. Any landowner that fails to do so within two weeks after official written notification by the Code Enforcement Officer shall be penalized as set forth in §145-64. [§145-79B]
6. Erosion of soil and sedimentation of watercourses and water bodies shall be minimized by employing the following best-management practices [§145-75F]:
  - (a) Stripping of vegetation, soil removal and regrading or other development shall be accomplished in such a way as to minimize erosion.
  - (b) The duration of exposure of the disturbed area shall be kept to a practical minimum.
  - (c) Temporary vegetation and/or mulching shall be used to protect exposed critical areas during development.



# Town of Wells, Maine

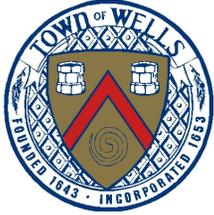
## Staff Review Committee

### FINDINGS OF FACTS & DECISIONS

#### Site Plan Application for "Armstrong Fence"

Page 24 of 25

- (d) Permanent (final) vegetation and mechanical erosion control measures in accordance with the standards of the York County Soil and Water Conservation District or the Maine Soil and Water Conservation Commission shall be installed as soon as practicable after construction ends.
  - (e) Until a disturbed area is stabilized, sediment in runoff water shall be trapped by the use of debris basins, silt traps or other acceptable methods as determined by the reviewing authority.
  - (f) The top of a cut or the bottom of a fill section which alters the existing grade by more than two feet shall not be closer than 10 feet to an adjoining lot.
  - (g) During grading operations, methods of dust control shall be employed.
  - (h) The proposed site plan shall prevent soil erosion and sedimentation from entering waterbodies, wetlands, and adjacent properties.
  - (i) The procedures outlined in the erosion and sedimentation control plan shall be implemented during the site preparation, construction, and clean-up stages.
  - (j) Cutting or removal of vegetation along waterbodies shall not increase water temperature or result in shoreline erosion or sedimentation.
  - (k) Topsoil shall be considered part of the site plan and shall not be removed from the site except for surplus topsoil from roads, parking areas, and building excavations.
7. The property shown on this plan may be developed and used only as depicted on this approved plan. All elements and features of the plan and all representations made by the applicant in the record of the Planning Board and/or Staff Review Committee proceedings are conditions of the approval. No change from the conditions of approval is permitted unless an amended plan is first submitted to and approved by the Planning Board and/or Staff Review Committee.
  8. Approval of the application or amendment application does not relieve the applicant from the responsibility to obtain building permits prior to construction and use permits prior to occupancy.
  9. It is the applicant's responsibility to contact Dig Safe prior to construction.
  10. It is the owner/Homeowners Association/applicant/developer's responsibility, not the Town Code Office or Town Planning Office, to contact the Town Clerk's Office to apply for and maintain any and all business license(s) for the use(s) conducted on this subdivision/site plan parcel(s).
  11. Approval of any proposed field changes shall be obtained prior to construction. Said approvals shall be in writing. The Code Enforcement Office shall consult with the Office of Planning and Development prior to approving any field change.
  12. Prior to the pouring of a building footing/foundation, the location of each cottage and/or building to be constructed shall be located on the face of the earth and shall be marked with surveyor pins or stakes. The developer shall receive approval of each cottage and/or building location from the Code Enforcement Office prior to the commencement of footing/foundation excavation.
  13. If the property will be converted to a condominium form of ownership, the proposed condominium documents must be presented to the Town for review and approval by the Town Attorney. No use permit shall be issued until the Town Attorney has indicated approval of the condominium documents.
  14. Upon completion of construction, the applicant shall provide to the Town record as-built drawings of the roadway, drainage, and utility related construction work.
  15. The Town of Wells, Maine may employ the services of an engineering firm to assist in the inspection of roads and other infrastructure if, in the opinion of the Code Enforcement Office, the work necessary to insure compliance with Town ordinances or the requirements of this approval are beyond those capacities available by staff. The cost of such additional services will be born by the developer.
  16. All components, features, improvements and conditions of site plan approval shall be fully completed prior to any issuance of a certificate of occupancy.



# Town of Wells, Maine Staff Review Committee

---

**FINDINGS OF FACTS & DECISIONS**  
**Site Plan Application for "Armstrong Fence"**  
**Page 25 of 25**

Dated at Wells, Maine this \_\_\_\_\_ day of \_\_\_\_\_, 2016

Wells Staff Review Committee

By: \_\_\_\_\_



**Planning & Development**  
**208 Sanford Road, Wells, Maine 04090**

Phone: (207) 646-5187, Fax: (207) 646-2935

Website: [www.wellstown.org](http://www.wellstown.org)

<i>Michael G. Livingston, Town Engineer/Planner</i>	<a href="mailto:mlivingston@wellstown.org">mlivingston@wellstown.org</a>
<i>Shannon M. L. Belanger, Planning Assistant</i>	<a href="mailto:sbelanger@wellstown.org">sbelanger@wellstown.org</a>

**Memo**

Date: May 5, 2016

To: Staff Review Committee

From: Michael G. Livingston, Town Engineer/Planner

Re: Armstrong Fence: Map 40, Lot 3-4 : Drainage Review Update

**Review of Drainage Analysis and Design**

**Information:** Site Plans Sheets L1 and L2 by Civil Consultants, dated 3-4-16, **Revised 5-5-16**  
Stormwater Management Plan by Civil Consultants, dated February 2016, by Neil Rapoza, PE # 12169, **Additional calculations dated 4-26-16.**

**Analysis:** Pre-Development - Good

- Model well described
- One basin
- Good flow path
- Comparison point established

Post-Development - Good

- Two basins
- Good flow paths
- Reaches created to Comparison Point
- Pond created

**Calculations/Results**

Pond: 25 yr. peak at 199.60, top berm at 200.6 - Good  
Secondary invert at 199.50, 0.1 depth flow at 25 yr. - Good  
3" orifice flow at 0.38 cfs, minimal - Good

*If 3" orifice is blocked, what is change in peak elevation and secondary flow depth?*

**\*\*Calculations provided- emergency overflow has adequate capacity if outlet is blocked.**

Comparison Point: Good reductions at post- development conditions  
Good detention and treatment potential at 2 to 10 year storm events  
(first flush condition) **\*\*Details added as requested.**

**Design**

Good : *Additional details needed (sheet L2) - Vegetated swale, Berm section with top elevation and width, rip rap apron for existing culvert extension and in front of 3" orifice, emergency spillway/weir, 3" orifice/cap*

**Conclusion**

**The proposed stormwater management plan will meet the Town requirements.**

# Wells Fire Department



1563B Post Road  
Wells, Maine 04090

Office (207) 646-7912

FAX (207) 645-0597

TDD (207) 646-7892

**Daniel M. Moore**  
Fire Chief

May 5, 2016

Mike G. Livingston, PE  
Town Engineer/ Planner  
208 Sanford Road  
Wells, Maine 04090

Dear Mr. Livingston,

I have reviewed the site plan for the project known as Armstrong Fence located off of 632 North Berwick Road in Wells, Maine. The application is described as the following:

Steve and Lisa Duplisea, owner/applicant has submitted a site plan amendment application prepared by Civil Consultants to eliminate the previously approved 40' x 100' 2-story office and 32' x 48' garage and instead construct a 2-story 1,792 SF Office and a 1-story 1,536 SF Business Contractor/ Business Wholesale/ Warehousing building with associated outdoor equipment and material storage areas and a product display area. Prior site plan approval expired. The property is located off of 632 North Berwick Road and is within the Light Industrial District. Tax Map 40, Lot 3-4. The parcel is part of the Berwick Road Business Park Subdivision.

The Fire Department is in approval of the project in accordance with the latest set of plans submitted on 5/5/2016 with the following comments offered:

In accordance with Chapter Land Use 145-75 in the Town of Wells Code, the following items pertain.

- H. *Explosive materials. No highly flammable or explosive liquids, solids or gases shall be stored in bulk above ground, unless they are stored in compliance with the requirements of the National Fire Protection Association (NFPA) standards.*

No exterior fuel storage proposed. Any explosive materials stored on this property shall be stored in compliance with NFPA standards.

- I. *Water quality. All aboveground outdoor storage facilities for fuel, chemicals, chemical or industrial wastes and potentially harmful raw materials shall be located on reinforced cement and shall be completely enclosed by an impervious dike monolithically poured, which shall be high enough to contain the total*

*volume of liquid kept within the storage area, plus the rain falling into this storage area during a fifty-year storm, so that such liquid shall not be able to spill onto or seep into the ground surrounding the paved storage area. Storage tanks for home heating fuel and diesel fuel, not exceeding 275 gallons in size, shall be exempted from this requirement.*

Water quality standards shall be met.

*L. Water supply. The applicant shall demonstrate the availability of adequate water supply for fire protection and the consumption needs of the proposed development.*

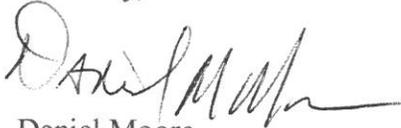
Property served by private on-site well. Well location was field verified. See new well location on sheet L1.

*N. Fire safety. The site plan shall make adequate provisions for access by fire-fighting equipment and personnel.*

A Knox box is recommended to be installed. Prior to installation the developer shall contact the Fire Department regarding placement. No parking is to be permitted along North Berwick Road. The nearest fire pond/hydrant location is noted on the site plan. See also note 13. See sheet L2 turning radius detail which depicts sufficient on-site turning availability for the fire trucks.

If you have any questions, please contact me.

Sincerely,

A handwritten signature in black ink, appearing to read "Daniel Moore". The signature is fluid and cursive, with a long horizontal stroke at the end.

Daniel Moore  
Fire Chief

# SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Dept. Health & Human Services  
 Division of Health Engineering, 10 SHS  
 (207) 287-5672 Fax: (207) 287-3165

## PROPERTY LOCATION

**>> CAUTION: PERMIT REQUIRED - ATTACH IN SPACE BELOW <<**

City, Town, or Plantation: WELLS

Street or Road: NORTH BERWICK RD.

Subdivision, Lot #: BERWICK ROAD BUSINESS PARK LOT #4

The Subsurface Wastewater Disposal System shall not be installed until a Permit is attached HERE by the Local Plumbing Inspector. The Permit shall authorize the owner or installer to install the disposal system in accordance with this application and the Maine Subsurface Wastewater Disposal Rules.

## OWNER/APPLICANT INFORMATION

Name (Last, First, MI): DUPLESEA STEVE  Owner  Applicant

Mailing Address of Owner/Applicant: \_\_\_\_\_

Daytime Tel #: 646-5522

Municipal Tax Map # \_\_\_\_\_ Lot # \_\_\_\_\_

## OWNER OR APPLICANT STATEMENT

I state and acknowledge that the information submitted is correct to the best of my knowledge and understanding and that any falsification is reason for the Department and/or Local Plumbing Inspector to deny a Permit.

Signature of Owner or Applicant: \_\_\_\_\_ Date: \_\_\_\_\_

## CAUTION: INSPECTION REQUIRED

I have inspected the installation authorized above and found it to be in compliance with the Subsurface Wastewater Disposal Rules Application.

Local Plumbing Inspector Signature: \_\_\_\_\_ (1st) date approved: \_\_\_\_\_  
 \_\_\_\_\_ (2nd) date approved: \_\_\_\_\_

## PERMIT INFORMATION

<b>TYPE OF APPLICATION</b> <input checked="" type="checkbox"/> 1 First Time System <input type="checkbox"/> 2 Replacement System Type replaced: _____ Year installed: _____ <input type="checkbox"/> 3 Expanded System <input type="checkbox"/> a. Minor Expansion <input type="checkbox"/> b. Major Expansion <input type="checkbox"/> 4 Experimental System <input type="checkbox"/> 5 Seasonal Conversion	<b>THIS APPLICATION REQUIRES</b> <input checked="" type="checkbox"/> 1. No Rule Variance <input type="checkbox"/> 2. First Time System Variance <input type="checkbox"/> a. Local Plumbing Inspector Approval <input type="checkbox"/> b. State & Local Plumbing Inspector Approval <input type="checkbox"/> 3. Replacement System Variance <input type="checkbox"/> a. Local Plumbing Inspector Approval <input type="checkbox"/> b. State & Local Plumbing Inspector Approval <input type="checkbox"/> 4. Minimum Lot Size Variance <input type="checkbox"/> 5. Seasonal Conversion Permit	<b>DISPOSAL SYSTEM COMPONENTS</b> <input checked="" type="checkbox"/> 1. Complete Non-engineered System <input type="checkbox"/> 2. Primitive System (graywater & all toilet) <input type="checkbox"/> 3. Alternative Toilet, specify: _____ <input type="checkbox"/> 4. Non-engineered Treatment Tank (only) <input type="checkbox"/> 5. Holding Tank, _____ gallons <input type="checkbox"/> 6. Non-engineered Disposal Field (only) <input type="checkbox"/> 7. Separated Laundry System <input type="checkbox"/> 8. Complete Engineered System (2000 gpd or more) <input type="checkbox"/> 9. Engineered Treatment Tank (only) <input type="checkbox"/> 10. Engineered Disposal Field (only) <input type="checkbox"/> 11. Pre-treatment, specify: _____ <input type="checkbox"/> 12. Miscellaneous Components
<b>SIZE OF PROPERTY</b> 88,025 ± <input checked="" type="checkbox"/> SQ. FT. <input type="checkbox"/> ACRES	<b>DISPOSAL SYSTEM TO SERVE</b> <input type="checkbox"/> 1. Single Family Dwelling Unit, No. of Bedrooms: _____ <input type="checkbox"/> 2. Multiple Family Dwelling, No. of Units: _____ <input checked="" type="checkbox"/> 3. Other: <u>OFFICE / STORAGE</u> (specify) Current Use <input type="checkbox"/> Seasonal <input type="checkbox"/> Year Round <input checked="" type="checkbox"/> Undeveloped	<b>TYPE OF WATER SUPPLY</b> <input checked="" type="checkbox"/> 1. Drilled Well <input type="checkbox"/> 2. Dug Well <input type="checkbox"/> 3. Private <input type="checkbox"/> 4. Public <input type="checkbox"/> 5. Other
<b>SHORELAND ZONING</b> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

## DESIGN DETAILS (SYSTEM LAYOUT SHOWN ON PAGE 3)

<b>TREATMENT TANK</b> <input checked="" type="checkbox"/> 1 Concrete <input checked="" type="checkbox"/> a. Regular <input type="checkbox"/> b. Low Profile <input type="checkbox"/> 2 Plastic <input type="checkbox"/> 3 Other: _____ CAPACITY: <u>1000 GAL.</u>	<b>DISPOSAL FIELD TYPE &amp; SIZE</b> <input checked="" type="checkbox"/> 1. Stone Bed <input type="checkbox"/> 2. Stone Trench <input type="checkbox"/> 3. Proprietary Device <input type="checkbox"/> a. cluster array <input type="checkbox"/> c. Linear <input type="checkbox"/> b. regular load <input type="checkbox"/> d. H-20 load <input type="checkbox"/> 4. Other: _____ SIZE: <u>600</u> sq. ft. <input type="checkbox"/> sq. ft. <input type="checkbox"/> lin. ft.	<b>GARBAGE DISPOSAL UNIT</b> <input checked="" type="checkbox"/> 1. No <input type="checkbox"/> 2. Yes <input type="checkbox"/> 3. Maybe If Yes or Maybe, specify one below: <input type="checkbox"/> a. multi-compartment tank <input type="checkbox"/> b. _____ tanks in series <input type="checkbox"/> c. increase in tank capacity <input type="checkbox"/> d. Filter on Tank Outlet	<b>DESIGN FLOW</b> <u>225</u> gallons per day BASED ON: <input type="checkbox"/> 1. Table 501.1 (dwelling unit(s)) <input checked="" type="checkbox"/> 2. Table 501.2 (other facilities) SHOW CALCULATIONS for other facilities <u>EMPLOYEES 15 @ 15 GPD = 225</u>
<b>SOIL DATA &amp; DESIGN CLASS</b> PROFILE CONDITION DESIGN <u>S 1 C 1 Z</u> at Observation Hole # <u>TP</u> Depth <u>30</u> of Most Limiting Soil Factor	<b>DISPOSAL FIELD SIZING</b> <input type="checkbox"/> 1. Small—2.0 sq. ft. / gpd <input checked="" type="checkbox"/> 2. Medium—2.6 sq. ft. / gpd <input type="checkbox"/> 3. Medium—Large 3.3 sq. ft. / gpd <input type="checkbox"/> 4. Large—4.1 sq. ft. / gpd <input type="checkbox"/> 5. Extra Large—5.0 sq. ft. / gpd	<b>EFFLUENT/EJECTOR PUMP</b> <input type="checkbox"/> 1. Not Required <input type="checkbox"/> 2. May Be Required <input checked="" type="checkbox"/> 3. Required Specify only for engineered systems: DOSE: <u>35</u> gallons	<b>ATTACH WATER METER DATA</b> <b>LATITUDE AND LONGITUDE</b> at center of disposal area Lat. <u>43</u> d <u>19</u> m. <u>192</u> ; Lon. <u>70</u> d <u>38</u> m. <u>847</u> ; If g.p.s., state margin of error: <u>5'</u>

## SITE EVALUATOR STATEMENT

I certify that on 10-1-07 (date) I completed a site evaluation on this property and state that the data reported are accurate and that the proposed system is in compliance with the State of Maine Subsurface Wastewater Disposal Rules (10-144A CMR 241).

Site Evaluator Signature: Mark A. Truman SE # 121 Date: 10-11-07

Site Evaluator Name Printed: MARK A. TRUMAN Telephone Number: 207-641-8656 E-mail Address: SITE.EVALUATIONS@HOTMAIL.COM

Telephone Number: 800-244-2493

Note: Changes to or deviations from the design should be confirmed with the Site Evaluator.

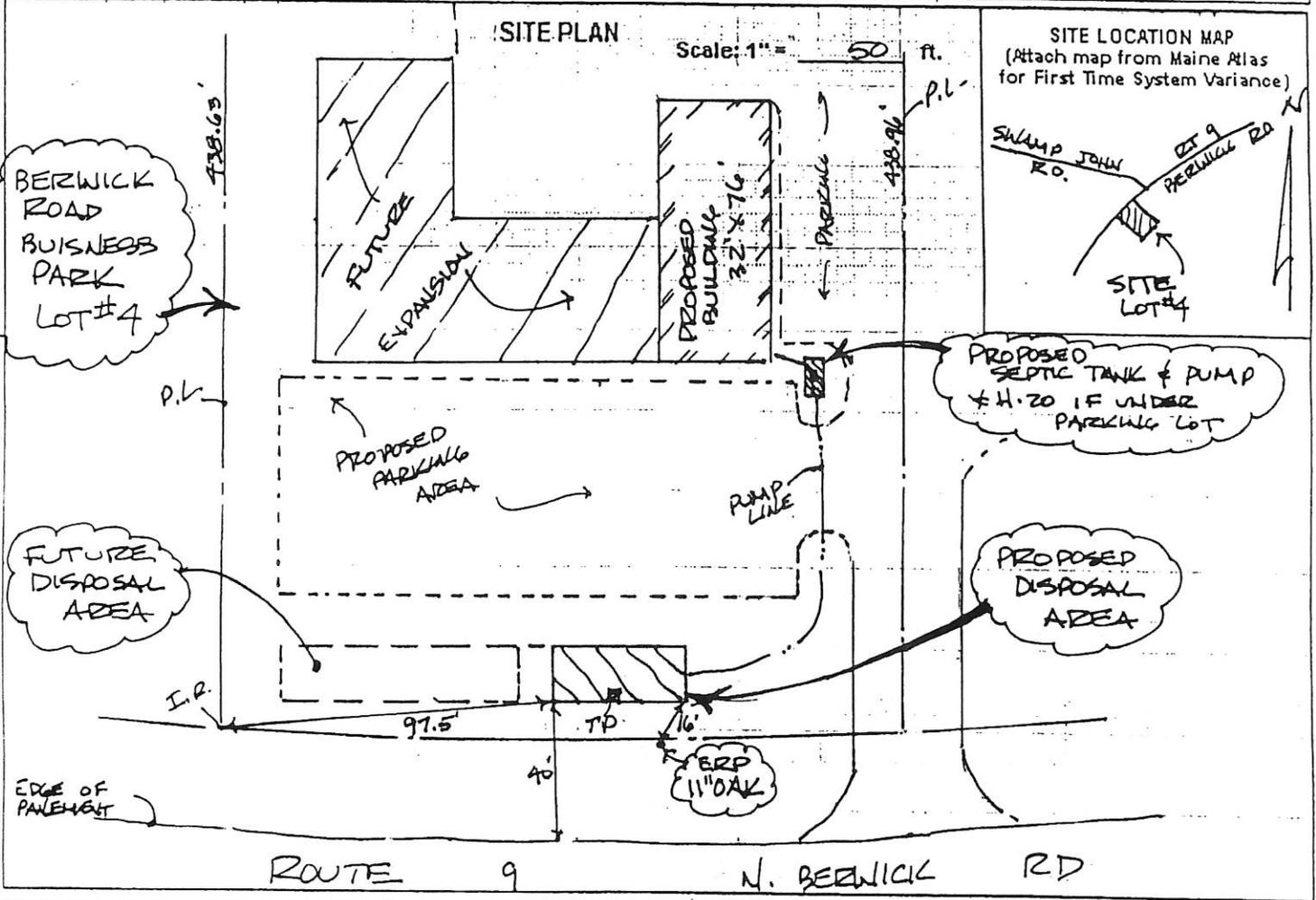
# SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Department of Human Services  
 Division of Health Engineering, Station 10  
 (207) 287-5872 FAX (207) 287-4172

Town, City, Plantation  
**WELLS**

Street, Road, Subdivision  
**N. BERWICK ROAD**

Owner or Applicant Name  
**STEVE DUPLISEA**



## SOIL PROFILE DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above)

Observation Hole # TP  Test Pit  Boring

0" Depth of organic horizon above mineral soil

Depth below mineral soil surface (inches)	Texture	Consistency	Color	Mottling
0				
6	FINE SANDY LOAM	VERY FRIABLE	DARK BROWN	
12	FINE LOAMY SAND		YELLOW BROWN	
18				
24	FINE MEDIUM SAND			
30	GRAVEL	LOOSE	PALE	FEW
36				
42	COARSE SAND			
48	GRAVEL			

Soil Profile: <u>S</u>	Classification: <u>C</u>	Slope: <u>1</u> Percent	Limiting Factor: <u>30</u> Depth	<input checked="" type="checkbox"/> Groundwater <input type="checkbox"/> Restrictive Layer <input type="checkbox"/> Bedrock
------------------------	--------------------------	-------------------------	----------------------------------	---

Observation Hole # \_\_\_\_\_  Test Pit  Boring

0" Depth of organic horizon above mineral soil

Depth below mineral soil surface (inches)	Texture	Consistency	Color	Mottling
0				
6				
12				
18				
24				
30				
36				
42				
48				

Soil Profile: _____	Classification: _____	Slope: _____ Percent	Limiting Factor: _____ Depth	<input type="checkbox"/> Groundwater <input type="checkbox"/> Restrictive Layer <input type="checkbox"/> Bedrock
---------------------	-----------------------	----------------------	------------------------------	--

*Mark A. Thurman*  
 Site Evaluator Signature

121  
 SE #

10-11-07  
 Date

# SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Department of Human Services  
 Division of Health Engineering, Station 10  
 (207) 287-5672 FAX (207) 287-4172

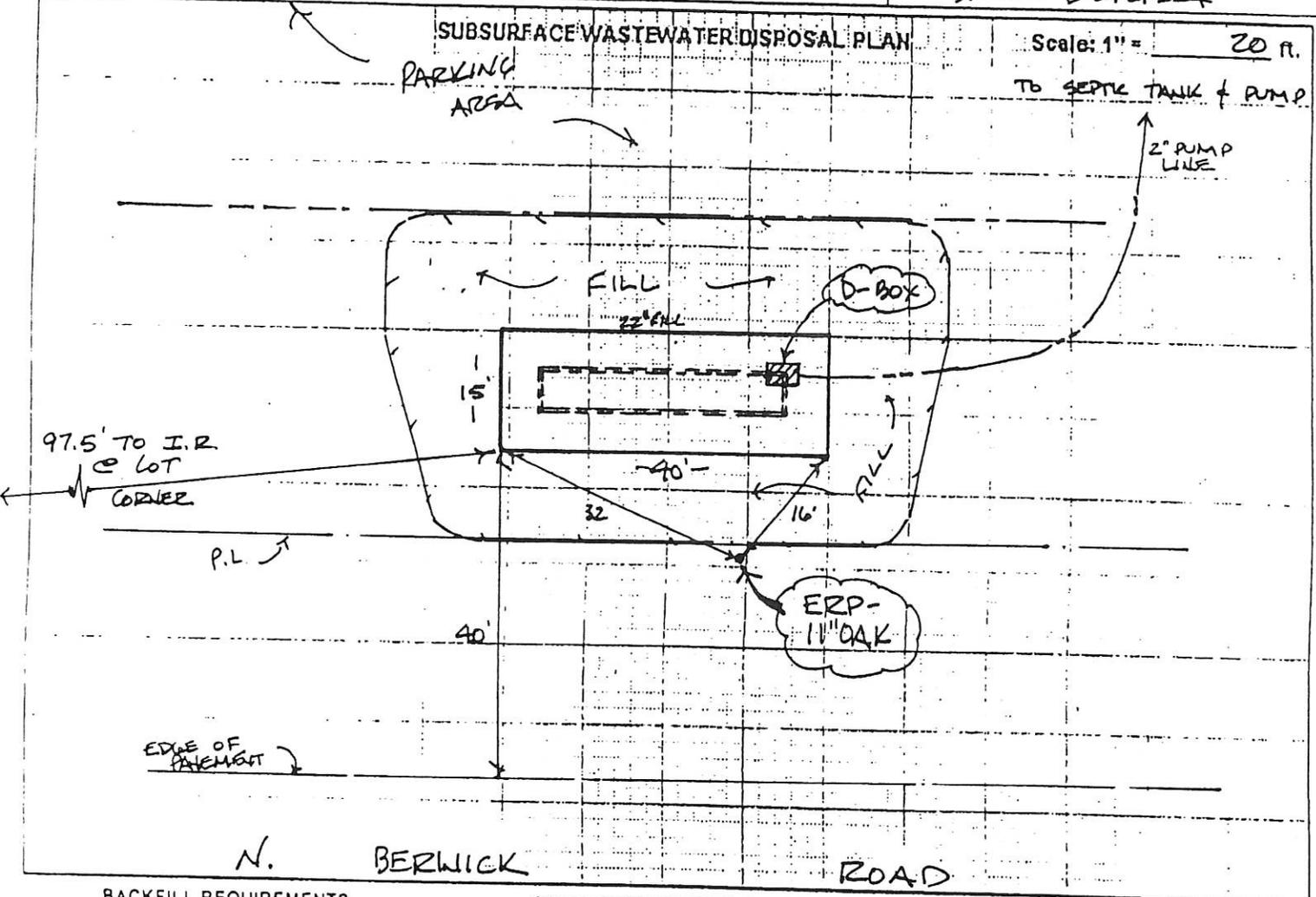
Town, City, Plantation  
**WELLS**

Street, Road, Subdivision  
**N. BERWICK RD.**

Owner or Applicant Name  
**STEVE DUPLISEA**

## SUBSURFACE WASTEWATER DISPOSAL PLAN

Scale: 1" = 20 ft.



### BACKFILL REQUIREMENTS

Depth of Backfill (upslope) 18  
 Depth of Backfill (downslope) 22  
 DEPTHS AT CROSS-SECTION (shown below)

### CONSTRUCTION ELEVATIONS

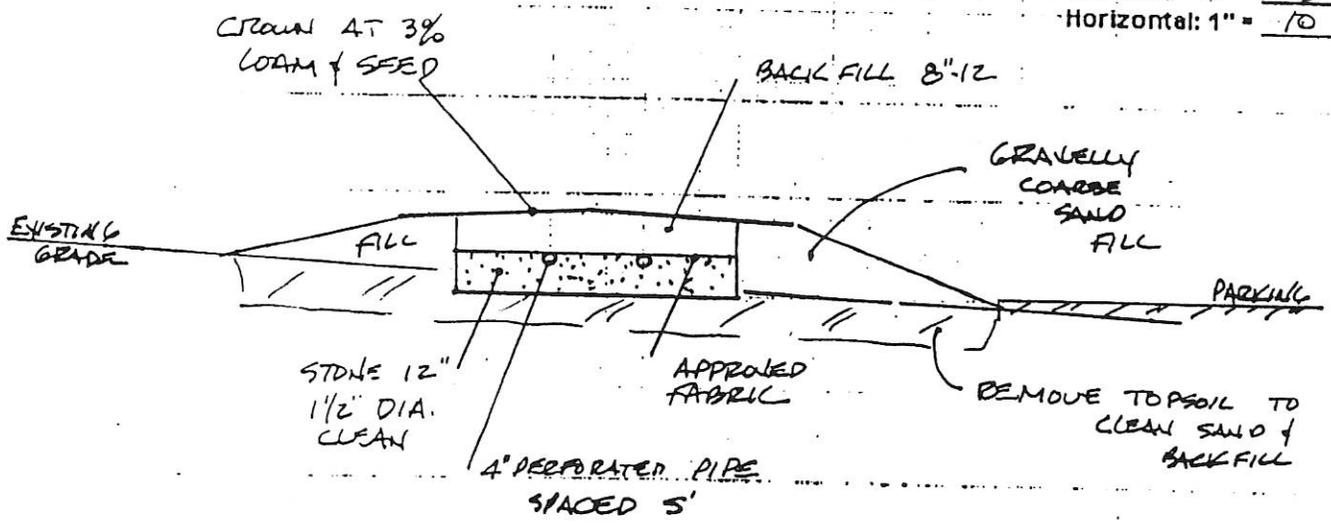
Finished Grade Elevation -24  
 Top of Distribution Pipe or Proprietary Device -36  
 Bottom of Disposal Field -48

### ELEVATION REFERENCE POINT

Location & Description: NAIL IN 11\"/>
 Reference Elevation is: 0.0'

## DISPOSAL FIELD CROSS-SECTION

Scales:  
 Vertical: 1" = 5 ft.  
 Horizontal: 1" = 10 ft.



*Mark A. Thurman*  
 Site Evaluator Signature

121  
 SE #

10-11-07  
 Date

---

---

**CIVIL CONSULTANTS MEMORANDUM**

---

---

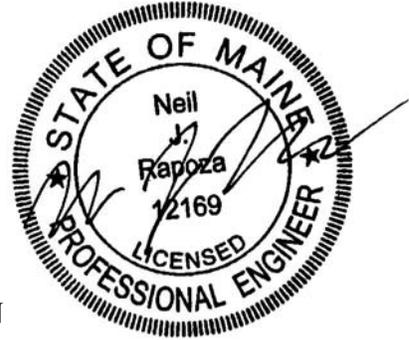
**TO:** Mr. Michael Livingston, PE  
Engineer, Town of Wells

**FROM:** Neil J. Rapoza, PE – Sr. Project Engineer

**SUBJECT:** Armstrong Fence – Site Plan Amendment

**DATE:** 4/27/2016

**PROJECT:** 04-464.02 ARMSTRONG FENCE SITE PLAN



This memorandum is presented to address items that were requested as a result of a Staff Review Committee meeting on 4/12/2016, as well as review by your office with regard to the drainage study for the project. The items are listed first, with CIVIL CONSULTANTS responses *following in italics*.

1. The SRC requested that it be indicated on the plan how many units would be rented in the proposed office building, and adjust the parking calculations and layout accordingly.

*The plan has been updated to indicate that a maximum of 4 units would be rented in the office building, with the proposed parking modified to accommodate the use.*

2. The SRC requested that a note be added to the plan that indicated that the proposed sign would not be lit, and if lighting is to be installed in the future that it will conform to Ch 145-41 of the Wells Ordinance.

*A note has been added to sheet L1 (note 15) indicating that the sign is not intended to be illuminated, and any future lighting will conform to the Ordinance.*

3. The SRC requested that a note be added to the plan that indicated that no dumpster was proposed for the site.

*A note has been added to sheet L1 (note 16) indicating that no dumpster is proposed, and that the installation of a dumpster will require additional approval from the Town.*

4. The SRC requested that door locations for the warehouse building be indicated on the plan.

*The proposed door locations are now noted on sheet L1.*



5. It was requested that CC provide a drainage analysis of the proposed pond modifications that modeled flows assuming that the 3” orifice had been blocked.

*An analysis was performed with the orifice blocked (see attached HydroCAD print out). It indicated that the 25-yr storm event could be safely conveyed to the receiving wetland via the emergency overflow, while maintaining 11” of freeboard to the top of the 4.5’ wide berm.*

6. It was requested that the following details be added to sheet L2: vegetated swale, berm section indicating top elevation, rip rap apron detail, 3” orifice/cap detail, and emergency spillway/weir detail.

*The details for the vegetated swale, berm section, 3” orifice/cap, and emergency spillway/weir have been added to sheet L2. The berm section also indicates the predicted water levels at the various storm events, including the 25-yr event with the 3” orifice blocked.*

*The stone lined plunge pool detail is intended to be utilized at both culvert outlets and will be used in lieu of a rip rap apron detail.*

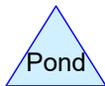
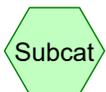
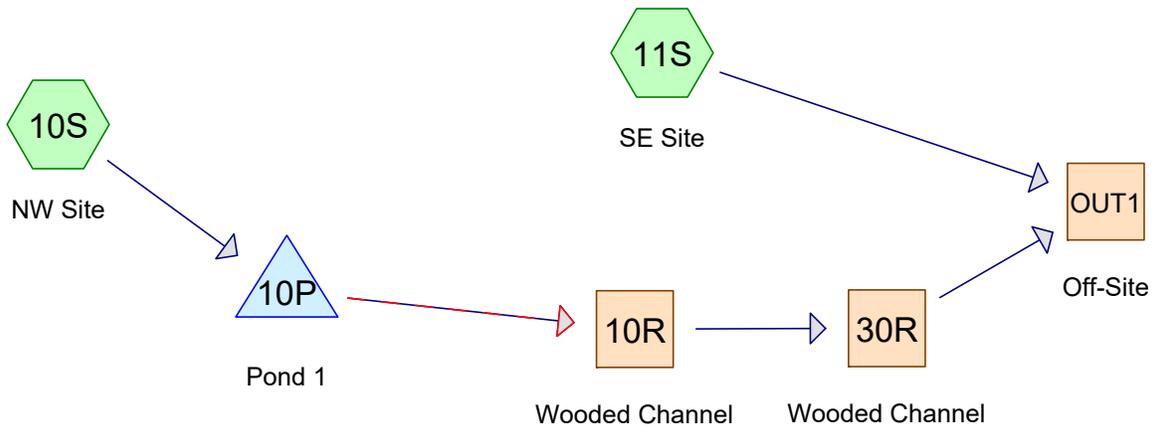
7. It was noted that the common driveway had been modified from the 100 ft length shown on the original subdivision plan for the lots, and that it is now 230 ft.

*The applicable recorded easements have been included in these response materials, and the common driveway has been corrected on the plan.*

Please find the attached revised plans and stormwater analysis for your review. If you have any questions, please do not hesitate to contact me.

J:\AAA\2004\0446402\TOWN\20160426\_RESPONSE\_MEMO.DOCX





**Routing Diagram for 0446402 POST- EMERGENCY SPILLWAY**  
 Prepared by Civil Consultants, Printed 4/26/2016  
 HydroCAD® 10.00-13 s/n 00552 © 2014 HydroCAD Software Solutions LLC

# 0446402 POST- EMERGENCY SPILLWAY

Prepared by Civil Consultants

HydroCAD® 10.00-13 s/n 00552 © 2014 HydroCAD Software Solutions LLC

Printed 4/26/2016

Page 2

## Area Listing (all nodes)

Area (acres)	CN	Description (subcatchment-numbers)
0.717	61	>75% Grass cover, Good, HSG B (10S)
0.462	96	Gravel surface, HSG B (10S)
0.566	98	Paved parking & roofs (10S)
0.513	60	Woods, Fair, HSG B (11S)
0.306	73	Woods, Fair, HSG C (11S)
<b>2.564</b>	<b>77</b>	<b>TOTAL AREA</b>

# 0446402 POST- EMERGENCY SPILLWAY

Prepared by Civil Consultants

HydroCAD® 10.00-13 s/n 00552 © 2014 HydroCAD Software Solutions LLC

Printed 4/26/2016

Page 3

## Soil Listing (all nodes)

Area (acres)	Soil Group	Subcatchment Numbers
0.000	HSG A	
1.692	HSG B	10S, 11S
0.306	HSG C	11S
0.000	HSG D	
0.566	Other	10S
<b>2.564</b>		<b>TOTAL AREA</b>

# 0446402 POST- EMERGENCY SPILLWAY

Prepared by Civil Consultants

HydroCAD® 10.00-13 s/n 00552 © 2014 HydroCAD Software Solutions LLC

Printed 4/26/2016

Page 4

## Ground Covers (all nodes)

HSG-A (acres)	HSG-B (acres)	HSG-C (acres)	HSG-D (acres)	Other (acres)	Total (acres)	Ground Cover	Subcatchment Numbers
0.000	0.717	0.000	0.000	0.000	0.717	>75% Grass cover, Good	10S
0.000	0.462	0.000	0.000	0.000	0.462	Gravel surface	10S
0.000	0.000	0.000	0.000	0.566	0.566	Paved parking & roofs	10S
0.000	0.513	0.306	0.000	0.000	0.819	Woods, Fair	11S
<b>0.000</b>	<b>1.692</b>	<b>0.306</b>	<b>0.000</b>	<b>0.566</b>	<b>2.564</b>	<b>TOTAL AREA</b>	

**0446402 POST- EMERGENCY SPILLWAY**

Type III 24-hr 25 Year Rainfall=5.40"

Prepared by Civil Consultants

Printed 4/26/2016

HydroCAD® 10.00-13 s/n 00552 © 2014 HydroCAD Software Solutions LLC

Page 5

Time span=1.00-48.00 hrs, dt=0.01 hrs, 4701 points x 3  
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN  
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

**Subcatchment 10S: NW Site**

Runoff Area=1.745 ac 32.44% Impervious Runoff Depth=3.44"  
Flow Length=250' Tc=10.2 min CN=82 Runoff=6.09 cfs 0.500 af

**Subcatchment 11S: SE Site**

Runoff Area=0.819 ac 0.00% Impervious Runoff Depth=1.93"  
Flow Length=221' Tc=22.9 min CN=65 Runoff=1.13 cfs 0.131 af

**Reach 10R: Wooded Channel**

Avg. Flow Depth=0.48' Max Vel=0.29 fps Inflow=2.89 cfs 0.290 af  
n=0.400 L=55.0' S=0.0273 '/' Capacity=2.95 cfs Outflow=2.71 cfs 0.290 af

**Reach 30R: Wooded Channel**

Avg. Flow Depth=0.25' Max Vel=0.71 fps Inflow=2.71 cfs 0.290 af  
n=0.100 L=70.0' S=0.0214 '/' Capacity=10.45 cfs Outflow=2.67 cfs 0.290 af

**Reach OUT1: Off-Site**

Inflow=3.67 cfs 0.421 af  
Outflow=3.67 cfs 0.421 af

**Pond 10P: Pond 1**

Peak Elev=199.65' Storage=9,952 cf Inflow=6.09 cfs 0.500 af  
Outflow=2.89 cfs 0.290 af

**Total Runoff Area = 2.564 ac Runoff Volume = 0.632 af Average Runoff Depth = 2.96"**  
**77.93% Pervious = 1.998 ac 22.07% Impervious = 0.566 ac**

**0446402 POST- EMERGENCY SPILLWAY**

Type III 24-hr 25 Year Rainfall=5.40"

Prepared by Civil Consultants

Printed 4/26/2016

HydroCAD® 10.00-13 s/n 00552 © 2014 HydroCAD Software Solutions LLC

Page 6

**Summary for Subcatchment 10S: NW Site**

Runoff = 6.09 cfs @ 12.14 hrs, Volume= 0.500 af, Depth= 3.44"

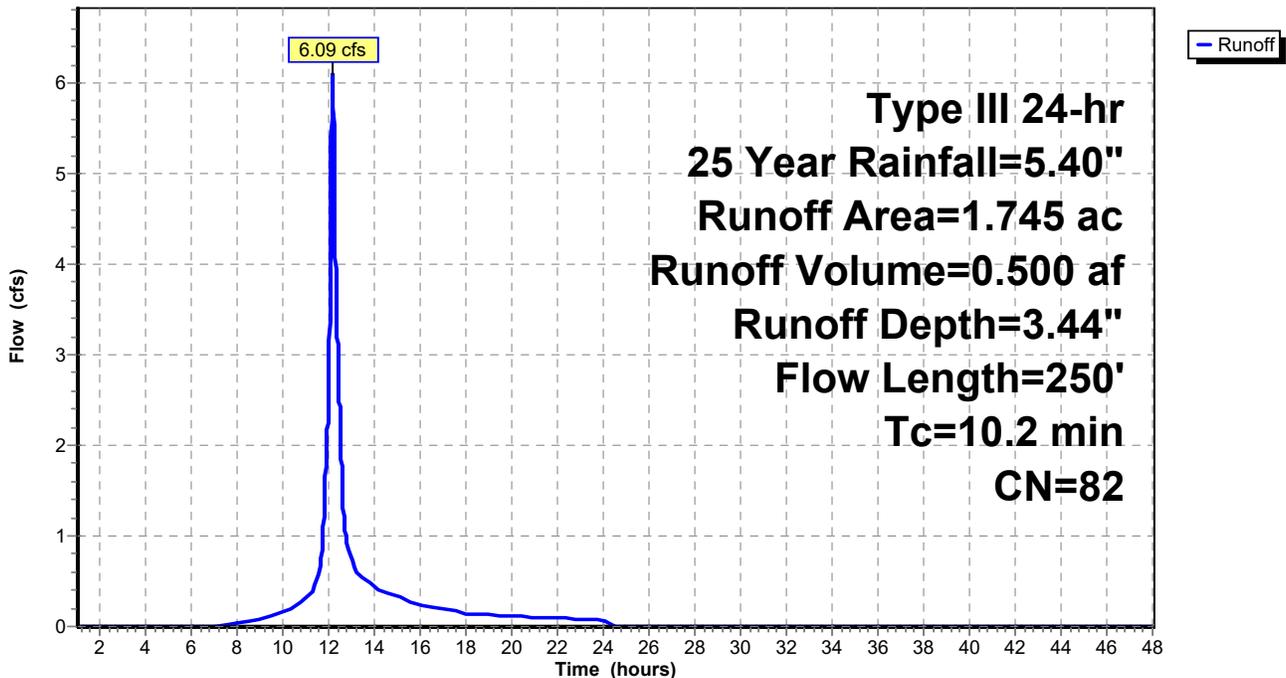
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 1.00-48.00 hrs, dt= 0.01 hrs  
Type III 24-hr 25 Year Rainfall=5.40"

Area (ac)	CN	Description
0.717	61	>75% Grass cover, Good, HSG B
0.566	98	Paved parking & roofs
0.462	96	Gravel surface, HSG B
1.745	82	Weighted Average
1.179		67.56% Pervious Area
0.566		32.44% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
8.5	50	0.0200	0.10		Sheet Flow, Grass: Dense n= 0.240 P2= 3.00"
1.7	200	0.0180	2.01		Shallow Concentrated Flow, Grassed Waterway Kv= 15.0 fps
10.2	250	Total			

**Subcatchment 10S: NW Site**

Hydrograph



**0446402 POST- EMERGENCY SPILLWAY**

Type III 24-hr 25 Year Rainfall=5.40"

Prepared by Civil Consultants

Printed 4/26/2016

HydroCAD® 10.00-13 s/n 00552 © 2014 HydroCAD Software Solutions LLC

Page 7

**Summary for Subcatchment 11S: SE Site**

Runoff = 1.13 cfs @ 12.34 hrs, Volume= 0.131 af, Depth= 1.93"

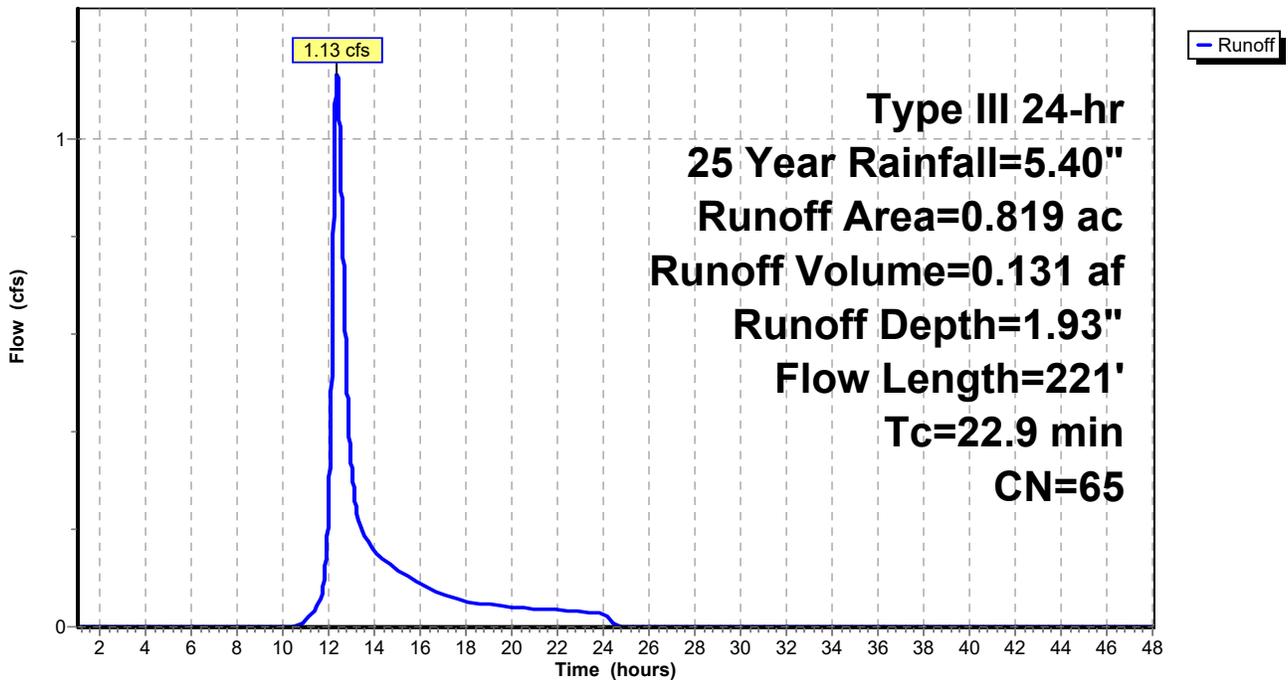
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 1.00-48.00 hrs, dt= 0.01 hrs  
Type III 24-hr 25 Year Rainfall=5.40"

Area (ac)	CN	Description
0.513	60	Woods, Fair, HSG B
0.306	73	Woods, Fair, HSG C
0.819	65	Weighted Average
0.819		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
18.9	50	0.0300	0.04		<b>Sheet Flow, Woods</b> Woods: Dense underbrush n= 0.800 P2= 3.00"
4.0	171	0.0200	0.71		<b>Shallow Concentrated Flow, Woods</b> Woodland Kv= 5.0 fps
22.9	221	Total			

**Subcatchment 11S: SE Site**

Hydrograph



Summary for Reach 10R: Wooded Channel

Inflow Area = 1.745 ac, 32.44% Impervious, Inflow Depth = 1.99" for 25 Year event
Inflow = 2.89 cfs @ 12.39 hrs, Volume= 0.290 af
Outflow = 2.71 cfs @ 12.45 hrs, Volume= 0.290 af, Atten= 6%, Lag= 3.5 min

Routing by Dyn-Stor-Ind method, Time Span= 1.00-48.00 hrs, dt= 0.01 hrs / 3
Max. Velocity= 0.29 fps, Min. Travel Time= 3.2 min
Avg. Velocity = 0.08 fps, Avg. Travel Time= 12.2 min

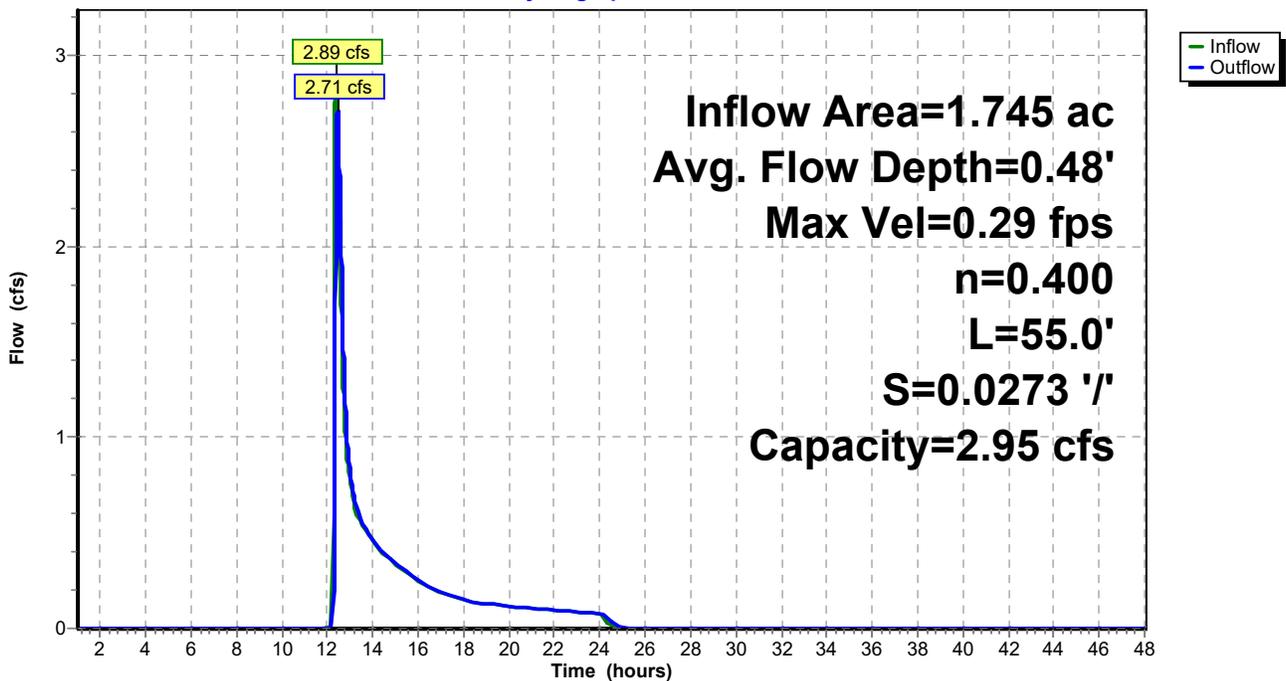
Peak Storage= 517 cf @ 12.45 hrs
Average Depth at Peak Storage= 0.48'
Bank-Full Depth= 0.50' Flow Area= 10.0 sf, Capacity= 2.95 cfs

10.00' x 0.50' deep channel, n= 0.400 Sheet flow: Woods+light brush
Side Slope Z-value= 20.0 ' Top Width= 30.00'
Length= 55.0' Slope= 0.0273 '/'
Inlet Invert= 196.50', Outlet Invert= 195.00'



Reach 10R: Wooded Channel

Hydrograph



**0446402 POST- EMERGENCY SPILLWAY**

Type III 24-hr 25 Year Rainfall=5.40"

Prepared by Civil Consultants

Printed 4/26/2016

HydroCAD® 10.00-13 s/n 00552 © 2014 HydroCAD Software Solutions LLC

Page 9

**Summary for Reach 30R: Wooded Channel**

[61] Hint: Exceeded Reach 10R outlet invert by 0.25' @ 12.47 hrs

Inflow Area = 1.745 ac, 32.44% Impervious, Inflow Depth = 1.99" for 25 Year event  
 Inflow = 2.71 cfs @ 12.45 hrs, Volume= 0.290 af  
 Outflow = 2.67 cfs @ 12.47 hrs, Volume= 0.290 af, Atten= 1%, Lag= 1.4 min

Routing by Dyn-Stor-Ind method, Time Span= 1.00-48.00 hrs, dt= 0.01 hrs / 3  
 Max. Velocity= 0.71 fps, Min. Travel Time= 1.6 min  
 Avg. Velocity = 0.19 fps, Avg. Travel Time= 6.2 min

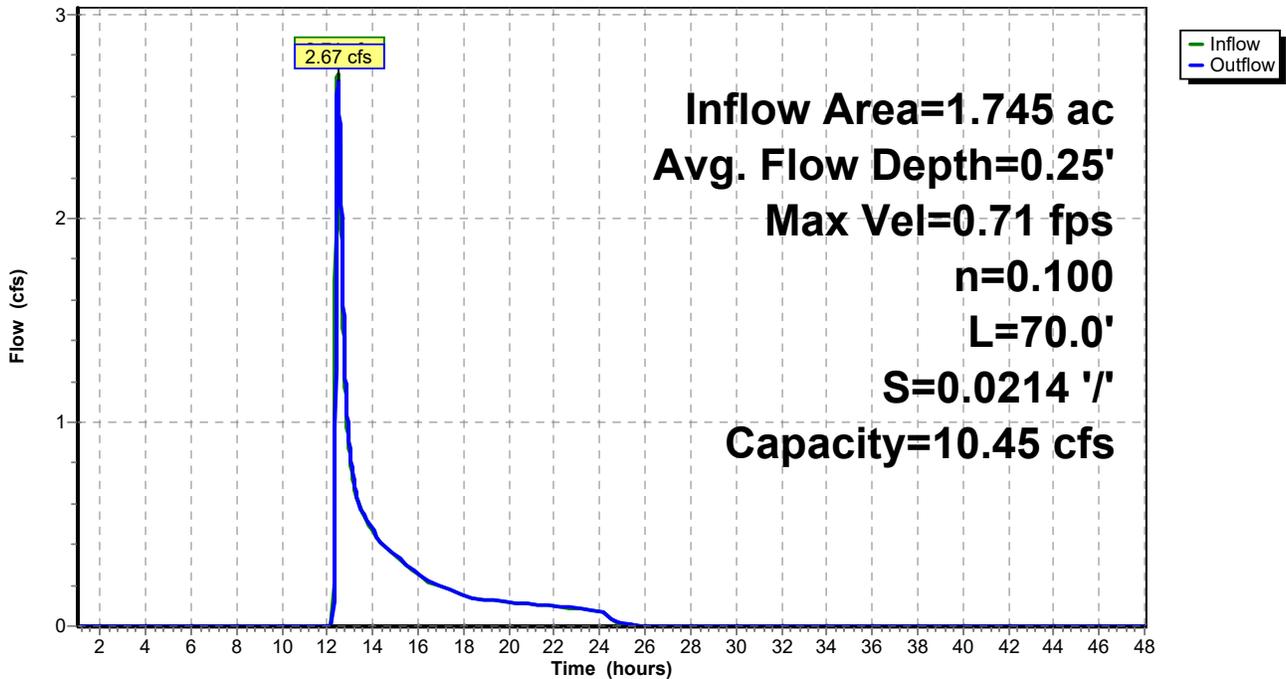
Peak Storage= 263 cf @ 12.47 hrs  
 Average Depth at Peak Storage= 0.25'  
 Bank-Full Depth= 0.50' Flow Area= 10.0 sf, Capacity= 10.45 cfs

10.00' x 0.50' deep channel, n= 0.100 Heavy timber, flow below branches  
 Side Slope Z-value= 20.0 '/' Top Width= 30.00'  
 Length= 70.0' Slope= 0.0214 '/'  
 Inlet Invert= 195.00', Outlet Invert= 193.50'



**Reach 30R: Wooded Channel**

Hydrograph



Summary for Reach OUT1: Off-Site

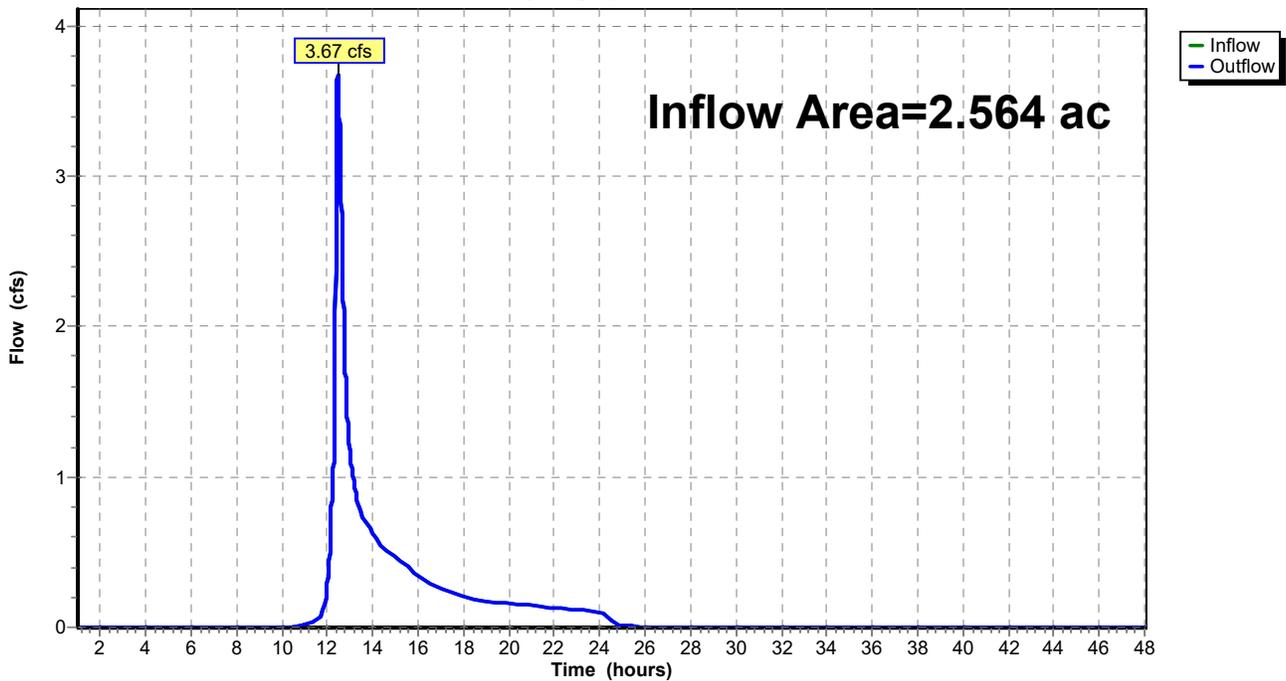
[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 2.564 ac, 22.07% Impervious, Inflow Depth = 1.97" for 25 Year event  
Inflow = 3.67 cfs @ 12.46 hrs, Volume= 0.421 af  
Outflow = 3.67 cfs @ 12.46 hrs, Volume= 0.421 af, Atten= 0%, Lag= 0.0 min

Routing by Dyn-Stor-Ind method, Time Span= 1.00-48.00 hrs, dt= 0.01 hrs / 3

Reach OUT1: Off-Site

Hydrograph



**0446402 POST- EMERGENCY SPILLWAY**

Type III 24-hr 25 Year Rainfall=5.40"

Prepared by Civil Consultants

Printed 4/26/2016

HydroCAD® 10.00-13 s/n 00552 © 2014 HydroCAD Software Solutions LLC

Page 11

**Summary for Pond 10P: Pond 1**

Inflow Area = 1.745 ac, 32.44% Impervious, Inflow Depth = 3.44" for 25 Year event  
 Inflow = 6.09 cfs @ 12.14 hrs, Volume= 0.500 af  
 Outflow = 2.89 cfs @ 12.39 hrs, Volume= 0.290 af, Atten= 53%, Lag= 14.8 min  
 Secondary = 2.89 cfs @ 12.39 hrs, Volume= 0.290 af

Routing by Dyn-Stor-Ind method, Time Span= 1.00-48.00 hrs, dt= 0.01 hrs / 3  
 Peak Elev= 199.65' @ 12.39 hrs Surf.Area= 5,138 sf Storage= 9,952 cf

Plug-Flow detention time= 203.3 min calculated for 0.290 af (58% of inflow)  
 Center-of-Mass det. time= 96.0 min ( 913.0 - 817.0 )

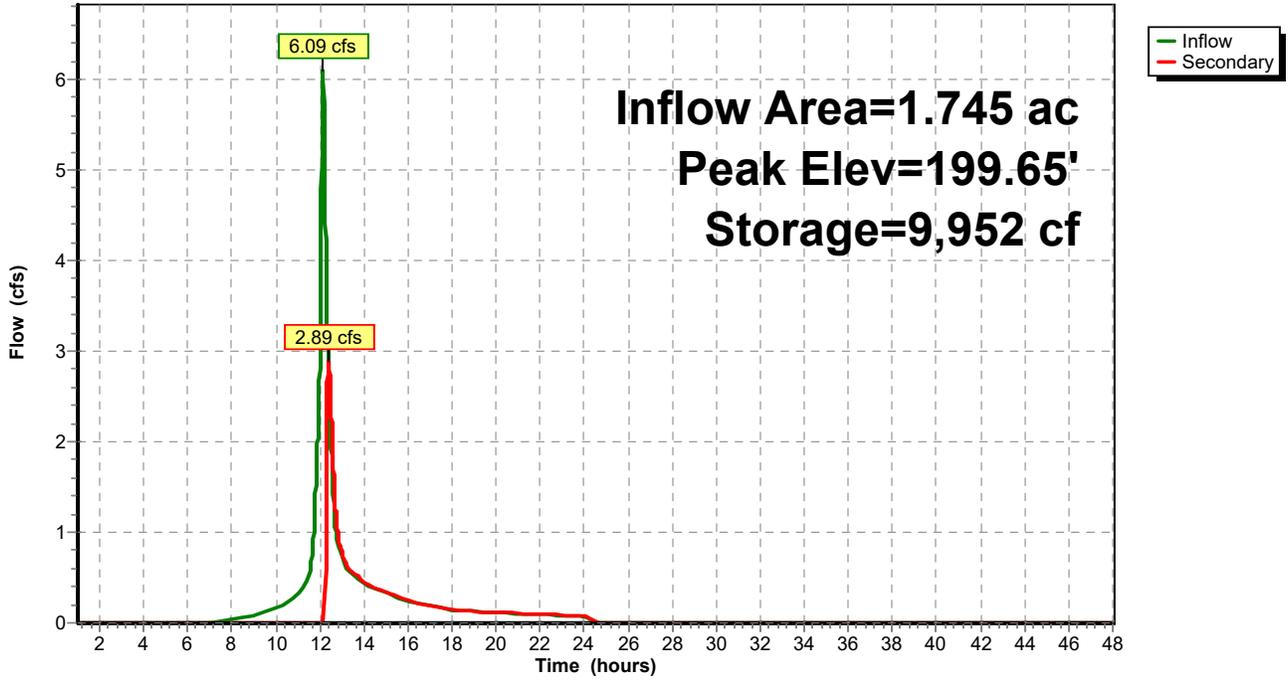
Volume	Invert	Avail.Storage	Storage Description
#1	197.00'	11,795 cf	<b>Custom Stage Data (Prismatic)</b> Listed below (Recalc) x 0.7
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
197.00	3,600	0	0
198.00	4,820	4,210	4,210
199.00	6,280	5,550	9,760
200.00	7,900	7,090	16,850

Device	Routing	Invert	Outlet Devices
#1	Secondary	199.50'	<b>20.0' long x 4.0' breadth Broad-Crested Rectangular Weir</b> Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 1.80 2.00 2.50 3.00 3.50 4.00 4.50 5.00 5.50 Coef. (English) 2.38 2.54 2.69 2.68 2.67 2.67 2.65 2.66 2.66 2.68 2.72 2.73 2.76 2.79 2.88 3.07 3.32

**Secondary OutFlow** Max=2.89 cfs @ 12.39 hrs HW=199.65' TW=196.95' (Dynamic Tailwater)  
 ↳1=Broad-Crested Rectangular Weir (Weir Controls 2.89 cfs @ 0.94 fps)

Pond 10P: Pond 1

Hydrograph



## EASEMENT DEED

KNOW ALL PERSONS by THESE PRESENTS, that **Steven J. Duplisea** and **Lisa M. Duplisea** of Wells, Maine, GRANT TO **S&J Realty, LLC** whose mailing address is

338 KS RT, York Me 03909

A certain easement over a tract of land located in Wells, County of York and State of Maine, said easement right to benefit the following parcel of land:

### **Benefitted parcel:**

A certain tract of land located in Wells, County of York and State of Maine, on the southerly side of Route 9 more particularly described as being the same parcel described as being Lot 5 on a plan entitled "Subdivision Plan, Berwick Road Business Park, Route 9 and Willie Hill Road, Wells, Maine", dated September 3, 1999 and recorded in the York County Registry of Deeds at Plan book 253, page 35 and being the same parcel described in deed of Nora Boan Corporation to S&J Realty, LLC, dated August 11, 2005, recorded in said Registry at Book 14566, page 67.

### **Burdened parcel:**

A certain tract of land located in Wells, County of York and State of Maine, on the southerly side of Route 9 as more particularly described as being Lot 4 on a plan entitled "Subdivision Plan, Berwick Road Business Park, Route 9 and Willie Hill Road, Wells, Maine", dated September 3, 1999 and recorded in the York County Registry of Deeds at Plan Book 253, page 35 and being the same parcel described in deed of Quiland, Inc. to Steven J. Duplisea and Lisa M. Duplisea, dated February 17, 2000 and recorded in the York County Registry of Deeds, Book 9911, page 293.

### **Description of Easement Right:**

- 1. Pedestrian and Vehicular Access.** A 20 foot wide easement for pedestrian and vehicular access running along the southerly sideline of the Burdened parcel from the easterly sideline of Route 9, as depicted on the recorded subdivision plan in an easterly direction for a distance of 230.00 feet.

Reference is made to a similar easement deed from S&J Realty, LLC to Stephen J. and Lisa M. Duplisea of even or near even date, granting similar rights, 20 foot wide, across the northerly side of lot 5 as shown on said plan. The meaning and intent of this deed and a similar deed from the grantee herein to the grantor herein of even or near even date is to create a shared driveway, 40 feet in width, straddling the boundary between lots 4 and 5 as shown on said plan and extending easterly from Route 9 a distance of 230 feet.

Grantor and grantee shall share equally in the expense of constructing and improving the common driveway, snowplowing, maintenance and repair of said common driveway, subject to the requirement that all related contracts, plans, designs, and

costs be approved in advance by both Grantor and Grantee.

- 3. **Drainage.** A 20 foot wide easement to allow drainage of the natural flow of water from the Benefited parcel across the Burdened parcel, encompassing the same area as the Pedestrian and Vehicular Access easement in section 1 above; provided, however, that this drainage easement shall not prohibit the reasonable exercise of the pedestrian and vehicular access rights set forth above. The cost of maintenance of the detention pond located on Lot 4 of the subdivision plan referred to above, will be paid 85% by the owner of lot 4 and 15% by the owner of lot 5.
- 4. The grantors herein hereby release to the grantee, in order to extinguish the longer, 438.95 foot easement mentioned in the deed at 14566, Page 67, all its rights and interest in this longer easement as it may have burdened Lot 5 (and in so far as it ever existed) extending beyond the easements described herein.

IN WITNESS WHEREOF, the said, Steven J. Duplisea and Lisa M. Duplisea, have hereunto executed this instrument this 1<sup>st</sup> day of March, 2006

\_\_\_\_\_  
 \_\_\_\_\_

Steven J. Duplisea  
 Steven J. Duplisea

Lisa M. Duplisea  
 Lisa M. Duplisea

STATE OF MAINE,  
County of York, ss.

March 1 2006.

Then personally appeared the above named Steven J. Duplisea and acknowledged the foregoing instrument to be his free act and deed.

Before me,

Susan W. Dinning  
 Notary Public

Susan W. Dinning  
 PRINT NAME

SEAL

End of Document

LAW OFFICES OF  
 JOSEPH G. CARLETON, JR.  
 P.O. Box 388  
 Paris, Maine 04950  
 (for Notaries), My commission expires 3-23-2013

9/25

### EASEMENT DEED

KNOW ALL PERSONS by THESE PRESENTS, that **S&J Realty, LLC** of York, Maine, GRANT TO **Steven J. Duplisea** and **Lisa M. Duplisea**, whose mailing address is

118 Nathan's Ridge Circle  
Wells, ME 04090

A certain easement over a tract of land located in Wells, County of York and State of Maine, said easement right to benefit the following parcel of land:

**Benefited parcel:**

A certain tract of land located in Wells, County of York and State of Maine, on the southerly side of Route 9 as more particularly described as being lot 4 on a plan entitled "Subdivision Plan, Berwick Road Business Park, Route 9 and Willie Hill Road, Wells, Maine", dated September 3, 1999 and recorded in the York County Registry of Deeds at Plan Book 253, page 35 and being the same parcel described in deed of Quiland, Inc. to Steven J. Duplisea and Lisa M. Duplisea, dated February 17, 2000 and recorded in the York County Registry of Deeds, Book 9911, page 293.

**Burdened parcel:**

A certain tract of land located in Wells, County of York and State of Maine, on the southerly side of Route 9 more particularly described as being the same parcel described as being Lot 5 on a plan entitled "Subdivision Plan, Berwick Road Business Park, Route 9 and Willie Hill Road, Wells, Maine", dated September 3, 1999 and recorded in the York County Registry of Deeds at Plan book 253, page 35 and being the same parcel described in deed of Nora Boan Corporation to S&J Realty, LLC, dated August 11, 2005, recorded in said Registry at Book 14566, page 67.

**Description of Easement Right:**

1. **Pedestrian and Vehicular Access.** A 20 foot wide easement for pedestrian and vehicular access running along the northerly sideline of the Burdened parcel from the easterly sideline of Route 9, as depicted on the recorded subdivision plan in an easterly direction for a distance of 230.00 feet.

Reference is made to a similar easement deed from Duplisea to S&J Realty, LLC of even or near even date, granting similar rights, 20 foot wide, across the southerly side of lot 4 as shown on said plan. The meaning and intent of this deed and a similar deed from the grantee herein to the grantor herein of even or near even date is to create a shared driveway, 40 feet in width, straddling the boundary between lots 4 and 5 as shown on said plan and extending easterly from Route 9 a distance of 230 feet.

Grantor and grantees agree that the reference to a common driveway running 438.95 feet from Route 9 contained in the deed to S & J Realty, LLC and recorded in the York County Registry of Deeds in Book 14566, Page 67 was in error, and that the common driveway easement which was originally 100 feet in length is now expanded to 230 feet.

Grantor and grantees shall share equally in the expense of constructing and improving the common driveway, snowplowing, maintenance and repair of said common driveway, subject to the requirement that all related contracts, plans, designs, and costs be approved in advance by both Grantor and Grantee.

- 2. **Drainage.** A 20 foot wide easement to allow drainage of the natural flow of water from the Benefited parcel across the Burdened parcel, encompassing the same area as the Pedestrian and Vehicular Access easement in section 1 above; provided, however, that this drainage easement shall not prohibit the reasonable exercise of the pedestrian and vehicular access rights set forth above. The cost of maintenance of the detention pond located on Lot 4 of the subdivision plan referred to above, will be paid 85% by the owner of Lot 4 and 15% by the owner of Lot 5.

IN WITNESS WHEREOF, the said, S&J Realty, LLC, has hereunto executed this instrument this 22 day of February, 2006

S&J Realty, LLC

by John R. Loftus, its member

John R. Loftus  
Print Name

STATE OF MAINE,  
County of York, ss.

2-22, 2006.

Then personally appeared the above named John Loftus and acknowledged the foregoing instrument to be his free act and deed in his said capacity as member of S&J Realty, LLC.

Before me,

SEAL

Gerald N. Nunan  
Notary Public

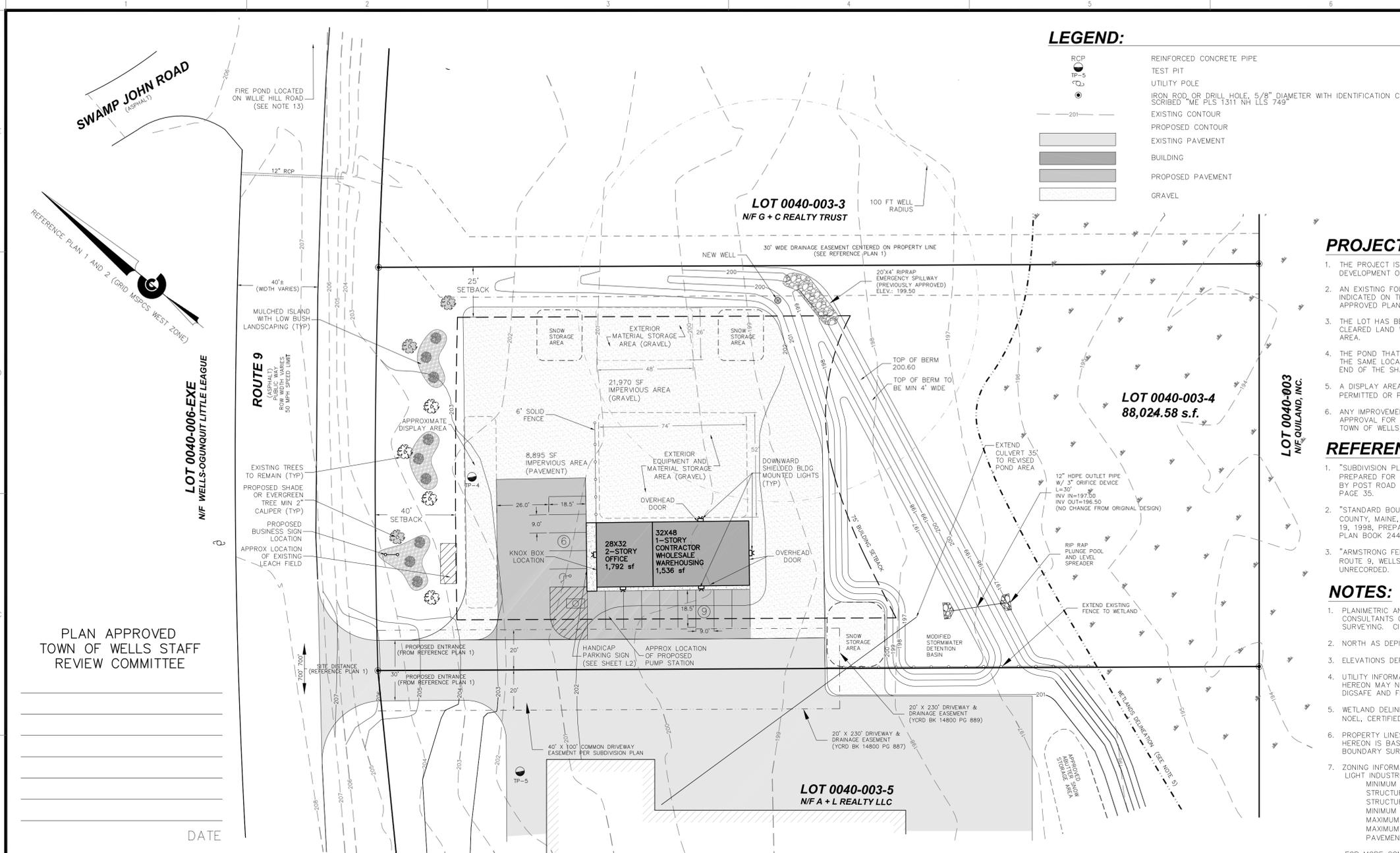
(For Notaries), My commission expires

GERALD N. NUNAN  
PRINT NAME

MY COMMISSION EXPIRES  
04-08-2008

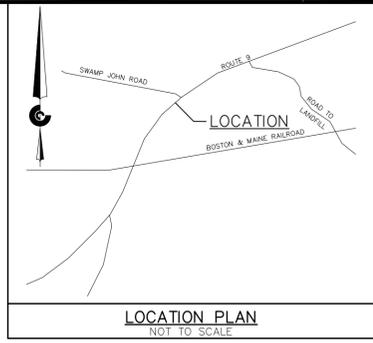
End of Document

2/18/06  
LAW OFFICES OF  
JOSEPH G. CARLETON, JR.  
P.O. Box 388  
York, Maine 04090



**LEGEND:**

- RCP REINFORCED CONCRETE PIPE
- TP-5 TEST PIT
- UTILITY POLE
- IRON ROD OR DRILL HOLE, 5/8" DIAMETER WITH IDENTIFICATION CAP SCRIBED "ME PLS 1311 NH LLS 749"
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING PAVEMENT
- BUILDING
- PROPOSED PAVEMENT
- GRAVEL



**CIVIL CONSULTANTS**  
**CIVIL CONSULTANTS**  
 Engineers  
 Planners  
 Surveyors  
 P.O. Box 100  
 South Berwick  
 Maine  
 03908  
 207-384-2550  
 www.civcon.com

**PROJECT SCOPE:**

- THE PROJECT IS A SITE PLAN APPROVAL TO A PREVIOUSLY APPROVED (NOW EXPIRED) SITE PLAN FOR THE DEVELOPMENT OF THE SUBJECT LOT, MAP 40 LOT 3-4.
- AN EXISTING FOUNDATION INSTALLED ON THE LOT IS TO REMAIN AND BE UTILIZED FOR THE BUILDING INDICATED ON THIS PLAN. A LARGE 2-STORY GARAGE AND OFFICE AREA SHOWN ON THE PREVIOUSLY APPROVED PLAN HAS BEEN REMOVED AND WILL NOT BE BUILT.
- THE LOT HAS BEEN PREVIOUSLY CLEARED TO THE LIMITS INDICATED ON THE APPROVED SITE PLAN. THE CLEARED LAND WILL REMAIN OPEN AND UTILIZED AS EXTERIOR MATERIAL STORAGE AND SNOW STORAGE AREA.
- THE POND THAT CONTROLS FLOW FROM THE LOT AND A PORTION OF THE ADJACENT LOT WILL REMAIN IN THE SAME LOCATION, WITH SLIGHT MODIFICATIONS TO ALLOW FOR AN AREA OF SNOW STORAGE AT THE END OF THE SHARED DRIVEWAY.
- A DISPLAY AREA IS PROPOSED TO SHOWCASE FENCING MATERIALS AND CONFIGURATIONS (RETAIL USE NOT PERMITTED OR PROPOSED).
- ANY IMPROVEMENTS TO THE LOT IN THE FUTURE THAT ARE NOT INDICATED ON THIS PLAN WILL REQUIRE APPROVAL FOR AN AMENDED SITE PLAN WITH THE REQUIRED REVIEWING AUTHORITY PER CH. 145 OF THE TOWN OF WELLS CODE.

**REFERENCE PLANS:**

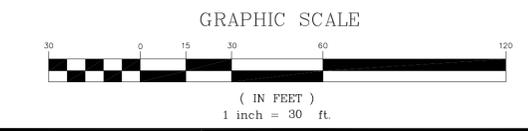
- "SUBDIVISION PLAN, BERWICK ROAD BUSINESS PARK, ROUTE 9 AND WILLIE HILL ROAD, WELLS ~ MAINE, PREPARED FOR QUILAND, INC.", DATED SEPTEMBER 3, 1999, LAST REVISED DECEMBER 29, 1999, PREPARED BY POST ROAD SURVEYING, RECORDED AT THE YORK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 253, PAGE 35.
- "STANDARD BOUNDARY SURVEY OF LAND OF TILCON MINERALS, INC. LOCATED ON ROUTE 9, WELLS, YORK COUNTY, MAINE, MAILING ADDRESS: PIKE INDUSTRIES, P.O. BOX 1030, WELLS, ME 04090", DATED MARCH 19, 1998, PREPARED BY CIVIL CONSULTANTS, RECORDED AT THE YORK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 244, PAGE 48.
- "ARMSTRONG FENCE SITE PLAN, PREPARED FOR STEVE DUPLISEA, LOT 4 BERWICK ROAD BUSINESS PARK, ROUTE 9, WELLS, YORK COUNTY, MAINE", REVISION DATED 01/03/06, PREPARED BY CIVIL CONSULTANTS, UNRECORDED.

**NOTES:**

- PLANIMETRIC AND TOPOGRAPHIC DETAIL DEPICTED HEREON IS BASED ON REFERENCE PLAN 1. CIVIL CONSULTANTS OBTAINED A DIGITAL FILE CONTAINING THE ABOVE REFERENCED DRAWING FROM POST ROAD SURVEYING. CIVIL CONSULTANTS HAS NOT PERFORMED FIELD SURVEY WORK AT THIS TIME.
- NORTH AS DEPICTED HEREON IS BASED ON REFERENCE PLANS 1 AND 2 (GRID MSPCS WEST ZONE).
- ELEVATIONS DEPICTED HEREON ARE BASED ON REFERENCE PLAN 1 (DATUM ASSUMED).
- UTILITY INFORMATION DEPICTED HEREON IS COMPILED USING REFERENCE PLAN 1. UTILITIES DEPICTED HEREON MAY NOT NECESSARILY REPRESENT ALL EXISTING UTILITIES. CONTRACTORS NEED TO CONTACT DIGSAFE AND FIELD VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- WETLAND DELINEATION DEPICTED HEREON IS BASED ON REFERENCE PLAN 1 (IDENTIFIED BY JOSEPH W. NOEL, CERTIFIED SOILS SCIENTIST #209).
- PROPERTY LINES DEPICTED HEREON ARE BASED ON REFERENCE PLAN 1. MONUMENTATION DEPICTED HEREON IS BASED ON REFERENCE PLAN 1. CIVIL CONSULTANTS HAS NOT PERFORMED AN INDEPENDENT BOUNDARY SURVEY OF THE LOCUS PARCEL.
- ZONING INFORMATION FROM REFERENCE PLAN 1:  
 LIGHT INDUSTRIAL ZONE  
 MINIMUM LOT SIZE - 40,000 sf (ACTUAL 88,024 sf)  
 STRUCTURE SETBACK FROM ROUTE 9 - 40'  
 STRUCTURE SETBACK FROM OTHER PROPERTY LINES - 25'  
 MINIMUM STREET FRONTAGE 100' - ACTUAL 200.3'  
 MAXIMUM BUILDING HEIGHT - 45' (NOT TO EXCEED 3 STORIES)  
 MAXIMUM LOT COVERAGE 65% - 38% PROPOSED [(21,970 sf GRAVEL)+2,432 sf BUILDING, 8,895 sf PAVEMENT]/88,024 sf

- FOR MORE COMPLETE ZONING INFORMATION REFER TO THE TOWN OF WELLS ZONING ORDINANCE.
- REFER TO NOTES ON REFERENCE PLAN 1 FOR VARIOUS CONDITIONS.
  - THE PROJECT WILL BE CONSTRUCTED IN CONFORMANCE WITH THE YORK COUNTY SOIL AND WATER CONSERVATION DISTRICT BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROLS.
  - ALL LIGHTING SHALL CONFORM TO CHAPTER 145-41 OF THE WELLS ORDINANCE.
  - ALL SIGNS SHALL CONFORM TO CHAPTER 145-40 OF THE WELLS ORDINANCE.
  - PARKING CALCULATIONS=  
 1,792 s.f. OFFICE SPACE (MAX 3 RENTAL, 1 OWNER USE) @ 3.5/ 1,000 s.f., MIN 3 PER = 12 SPACES  
 1,536 s.f. OF CONTRACTOR/WAREHOUSE/WHOLESALE BUSINESS @ 1,000 s.f.= 2 SPACES (3 MIN)  
 TOTAL REQUIRED = 15 SPACES  
 TOTAL PROVIDED = 15 SPACES INCLUDING 1 HANDICAPPED SPACE

- WATER SUPPLY WILL BE VIA AN ON-SITE WELL LOCATED IN THE NORTH CORNER OF THE PROPERTY. FIRE PROTECTION FOR THIS FACILITY IS PROVIDED BY THE FIRE POND, CREATED FOR THE BERWICK ROAD BUSINESS PARK SUBDIVISION, LOCATED ON WILLIE HILL ROAD, APPROXIMATELY 3000 FEET NORTH OF THIS SITE.
- WASTEWATER DISPOSAL WILL BE VIA AN ON-SITE SUBSURFACE DISPOSAL SYSTEM, LOCATED BETWEEN THE PARKING AREA AND ROUTE 9.
- PROPOSED SIGNAGE IS NOT INTENDED TO BE ILLUMINATED. IF ADDED IN THE FUTURE, LIGHTING IS TO CONFORM TO CHAPTER 145-41 OF THE WELLS ORDINANCE, WITH RESPECT TO SIGN LIGHTING.
- NO DUMPSTER IS PROPOSED ON THE SITE. INDIVIDUAL TENANTS WILL REMOVE WASTE AND DISPOSE OF WITHOUT THE USE OF A SHARED DUMPSTER. THE INSTALLATION OF A DUMPSTER WILL REQUIRE APPROVAL FROM THE TOWN IF IT IS FOUND TO BE NECESSARY IN THE FUTURE.



PLAN APPROVED  
 TOWN OF WELLS STAFF  
 REVIEW COMMITTEE

**WELLS STANDARD CONDITIONS OF APPROVAL (2016)**

- SITE PLAN APPROVAL SECURED UNDER THE PROVISIONS OF THIS CHAPTER SHALL EXPIRE WITHIN 10 YEARS FROM THE DATE ON WHICH THE SITE PLAN IS SIGNED IF ALL ASPECTS OF THE SITE PLAN APPROVAL ARE NOT FULLY COMPLETED AND ESTABLISHED. ANY SITE PLAN APPROVAL MAY INCLUDE A PHASING PLAN ACCORDING TO AN APPROVED TIME SCHEDULE NOT TO EXCEED 10 YEARS FROM THE DATE ON WHICH THE SITE PLAN IS SIGNED. SITE PLAN APPROVAL SHALL EXPIRE IF A USE HAS BEEN ESTABLISHED AND THEN DISCONTINUED FOR TWO YEARS OR MORE. [§145-74F]
- APPROVAL IS CONDITIONED UPON COMPLIANCE BY THE APPLICANT WITH THE PLANS AND SPECIFICATIONS WHICH HAVE BEEN RECEIVED BY THE TOWN IN CONNECTION WITH THIS DEVELOPMENT PROPOSAL.
- CONDITIONS OF APPROVAL OR NOTES WRITTEN ON THE FACE OF THE SITE PLAN MAY BE AMENDED ONLY BY THE REVIEWING AUTHORITY THAT APPROVED THE SITE PLAN. [§145-74G(1)(B)]
- FAILURE TO COMPLY WITH ANY CONDITIONS OF APPROVAL SHALL BE CONSTRUED TO BE A VIOLATION OF ARTICLE X OF THE LAND USE ORDINANCE AND SHALL BE GROUNDS FOR REVOKING THE APPROVED DEVELOPMENT PLAN, INITIATING LEGAL PROCEEDINGS TO ENJOIN CONSTRUCTION DEVELOPMENT OR ANY SPECIFIC ACTIVITY VIOLATING THE CONDITIONS OF PLAN APPROVAL OR APPLYING THE LEGAL PENALTIES DETAILED IN §145-64. [§145-79A]
- WHENEVER SEDIMENTATION IS CAUSED BY STRIPPING VEGETATION, REGRADING OR OTHER DEVELOPMENT, IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO IMMEDIATELY INSTALL SEDIMENTATION CONTROL DEVICES ON HIS LOT AND TO REMOVE SEDIMENT FROM ALL ADJOINING SURFACES, DRAINAGE SYSTEMS AND WATERCOURSES AND TO REPAIR ANY DRAINAGE, AT HIS EXPENSE, AS QUICKLY AS POSSIBLE. ANY

- LANDOWNER THAT FAILS TO DO SO WITHIN TWO WEEKS AFTER OFFICIAL WRITTEN NOTIFICATION BY THE CODE ENFORCEMENT OFFICER SHALL BE PENALIZED AS SET FORTH IN §145-64. [§145-79B]
- EROSION OF SOIL AND SEDIMENTATION OF WATERCOURSES AND WATER BODIES SHALL BE MINIMIZED BY EMPLOYING THE FOLLOWING BEST-MANAGEMENT PRACTICES [§145-75F]:
    - STRIPPING OF VEGETATION, SOIL REMOVAL AND REGRADING OR OTHER DEVELOPMENT SHALL BE ACCOMPLISHED IN SUCH A WAY AS TO MINIMIZE EROSION.
    - THE DURATION OF EXPOSURE OF THE DISTURBED AREA SHALL BE KEPT TO A PRACTICAL MINIMUM.
    - TEMPORARY VEGETATION AND/OR MULCHING SHALL BE USED TO PROTECT EXPOSED CRITICAL AREAS DURING DEVELOPMENT.
    - PERMANENT (FINAL) VEGETATION AND MECHANICAL EROSION CONTROL MEASURES IN ACCORDANCE WITH THE STANDARDS OF THE YORK COUNTY SOIL AND WATER CONSERVATION DISTRICT OR THE MAINE SOIL AND WATER CONSERVATION COMMISSION SHALL BE INSTALLED AS SOON AS PRACTICABLE AFTER CONSTRUCTION ENDS.
    - UNTIL A DISTURBED AREA IS STABILIZED, SEDIMENT IN RUNOFF WATER SHALL BE TRAPPED BY THE USE OF DEBRIS BASINS, SILT TRAPS OR OTHER ACCEPTABLE METHODS AS DETERMINED BY THE REVIEWING AUTHORITY.
    - THE TOP OF A CUT OR THE BOTTOM OF A FILL SECTION WHICH ALTERS THE EXISTING GRADE BY MORE THAN TWO FEET SHALL NOT BE CLOSER THAN 10 FEET TO AN ADJOINING LOT.
    - DURING GRADING OPERATIONS, METHODS OF DUST CONTROL SHALL BE EMPLOYED.
    - THE PROPOSED SITE PLAN SHALL PREVENT SOIL EROSION AND SEDIMENTATION FROM ENTERING WATERBODIES, WETLANDS, AND ADJACENT PROPERTIES.
    - THE PROCEDURES OUTLINED IN THE EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE IMPLEMENTED DURING THE SITE PREPARATION, CONSTRUCTION, AND CLEAN-UP STAGES.

- CUTTING OR REMOVAL OF VEGETATION ALONG WATERBODIES SHALL NOT INCREASE WATER TEMPERATURE OR RESULT IN SHORELINE EROSION OR SEDIMENTATION.
- TOPSOIL SHALL BE CONSIDERED PART OF THE SITE PLAN AND SHALL NOT BE REMOVED FROM THE SITE EXCEPT FOR SURPLUS TOPSOIL FROM ROADS, PARKING AREAS, AND BUILDING EXCAVATIONS.
- THE PROPERTY SHOWN ON THIS PLAN MAY BE DEVELOPED AND USED ONLY AS DEPICTED ON THIS APPROVED PLAN. ALL ELEMENTS AND FEATURES OF THE PLAN AND ALL REPRESENTATIONS MADE BY THE APPLICANT IN THE RECORD OF THE PLANNING BOARD AND/OR STAFF REVIEW COMMITTEE PROCEEDINGS ARE CONDITIONS OF THE APPROVAL. NO CHANGE FROM THE CONDITIONS OF APPROVAL IS PERMITTED UNLESS AN AMENDED PLAN IS FIRST SUBMITTED TO AND APPROVED BY THE PLANNING BOARD AND/OR STAFF REVIEW COMMITTEE.
- APPROVAL OF THE APPLICATION OR AMENDMENT APPLICATION DOES NOT RELIEVE THE APPLICANT FROM THE RESPONSIBILITY TO OBTAIN BUILDING PERMITS PRIOR TO CONSTRUCTION AND USE PERMITS PRIOR TO OCCUPANCY.
- IT IS THE APPLICANT'S RESPONSIBILITY TO CONTACT DIG SAFE PRIOR TO CONSTRUCTION.
- IT IS THE OWNER/HOMEOWNERS ASSOCIATION/APPLICANT/DEVELOPER'S RESPONSIBILITY, NOT THE TOWN CODE OFFICE OR TOWN PLANNING OFFICE, TO CONTACT THE TOWN CLERK'S OFFICE TO APPLY FOR AND MAINTAIN ANY AND ALL BUSINESS LICENSE(S) FOR THE USE(S) CONDUCTED ON THIS SUBDIVISION/SITE PLAN PARCEL(S).
- APPROVAL OF ANY PROPOSED FIELD CHANGES SHALL BE OBTAINED PRIOR TO CONSTRUCTION. SAID APPROVALS SHALL BE IN WRITING. THE CODE ENFORCEMENT OFFICE SHALL CONSULT WITH THE OFFICE OF

- PLANNING AND DEVELOPMENT PRIOR TO APPROVING ANY FIELD CHANGE.
- PRIOR TO THE POURING OF A BUILDING FOOTING/FOUNDATION, THE LOCATION OF EACH COTTAGE AND/OR BUILDING TO BE CONSTRUCTED SHALL BE LOCATED ON THE FACE OF THE EARTH AND SHALL BE MARKED WITH SURVEYOR PINS OR STAKES. THE DEVELOPER SHALL RECEIVE APPROVAL OF EACH COTTAGE AND/OR BUILDING LOCATION FROM THE CODE ENFORCEMENT OFFICE PRIOR TO THE COMMENCEMENT OF FOOTING/FOUNDATION EXCAVATION.
  - IF THE PROPERTY WILL BE CONVERTED TO A CONDOMINIUM FORM OF OWNERSHIP, THE PROPOSED CONDOMINIUM DOCUMENTS MUST BE PRESENTED TO THE TOWN FOR REVIEW AND APPROVAL BY THE TOWN ATTORNEY. NO USE PERMIT SHALL BE ISSUED UNTIL THE TOWN ATTORNEY HAS INDICATED APPROVAL OF THE CONDOMINIUM DOCUMENTS.
  - UPON COMPLETION OF CONSTRUCTION, THE APPLICANT SHALL PROVIDE TO THE TOWN RECORD AS-BUILT DRAWINGS OF THE ROADWAY, DRAINAGE, AND UTILITY RELATED CONSTRUCTION WORK.
  - THE TOWN OF WELLS, MAINE MAY EMPLOY THE SERVICES OF AN ENGINEERING FIRM TO ASSIST IN THE INSPECTION OF ROADS AND OTHER INFRASTRUCTURE IF, IN THE OPINION OF THE CODE ENFORCEMENT OFFICE, THE WORK NECESSARY TO INSURE COMPLIANCE WITH TOWN ORDINANCES OR THE REQUIREMENTS OF THIS APPROVAL ARE BEYOND THOSE CAPACITIES AVAILABLE BY STAFF. THE COST OF SUCH ADDITIONAL SERVICES WILL BE BORN BY THE DEVELOPER.
  - ALL COMPONENTS, FEATURES, IMPROVEMENTS AND CONDITIONS OF SITE PLAN APPROVAL SHALL BE FULLY COMPLETED PRIOR TO ANY ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

NO.	REVISIONS	DATE
1	REVISED PER SRC COMMENTS	4/26/16
2	REVISED PER TOWN COMMENTS	4/11/16

RECORD OWNER:  
 STEVE & LISA DUPLISEA  
 OWNER ADDRESS:  
 118 NATANIS RIDGE CIRCLE  
 WELLS, ME

**ARMSTRONG FENCE SITE PLAN AMENDMENT  
 BERWICK ROAD BUSINESS PARK  
 632 NORTH BERWICK ROAD  
 WELLS, MAINE**

PREPARED FOR:  
 STEVE DUPLISEA  
 118 NATANIS RIDGE CIRCLE, WELLS, ME 04090

CLIENT ADDRESS:

DATE: 3/4/2016  
 DRAWN BY: NJR  
 CHECKED BY: GRA  
 APPROVED BY: NJR

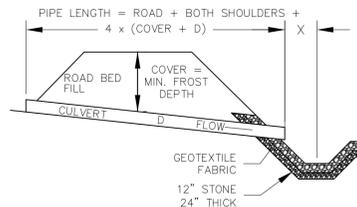
**SITE PLAN**

PROJECT NO: 04-464.02

**L1**

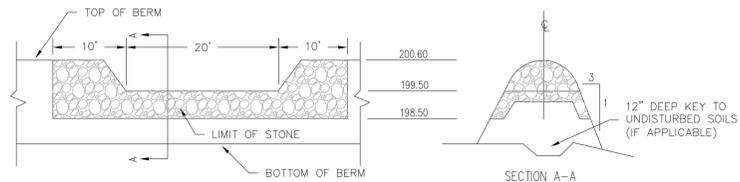
SHEET: 1 OF 2

TAX MAP NO. 004 LOT NO. 3-4



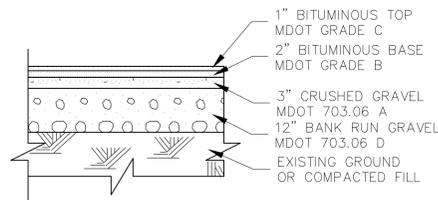
PIPE SIZE (INCHES)	X (FEET)	PLUNGE POOL
12"	2'	1 D DEEP
18"	3'	2 D SIDE
24"	5'	4 D LONG
36"	7'	

**PLUNGE POOL OUTLET PROTECTION DETAIL**  
NOT TO SCALE



- AREA BENEATH BERM SHALL BE STRIPPED OF ALL ORGANIC MATERIAL & DEBRIS.
- MATERIAL FOR BERM SHALL BE A SILT BASED MATERIAL SIMILAR TO MATERIAL EXCAVATED ON SITE. MATERIAL SHALL BE PLACED IN 12" LIFTS AND COMPACTED TO 95% OF MAXIMUM DENSITY.
- EXCEPT FOR STONE AREA SHOWN, SURFACE OF DETENTION AREA BERM SHALL BE LOAMED AND SEEDED USING THE SAME MATERIALS AND APPLICATION RATES AS REQUIRED FOR LAWN AREAS. IF BERM IS EXISTING AND IS STABILIZED SUFFICIENTLY WITH EXISTING VEGETATION, NO FURTHER PLANTINGS OR SEEDING WILL BE REQUIRED.

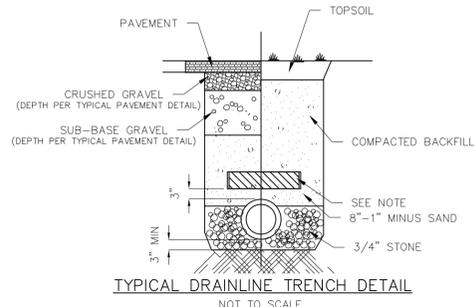
**POND BERM AND EMERGENCY OVERFLOW**  
NOT TO SCALE



**TYPICAL PAVEMENT SECTION**  
NOT TO SCALE

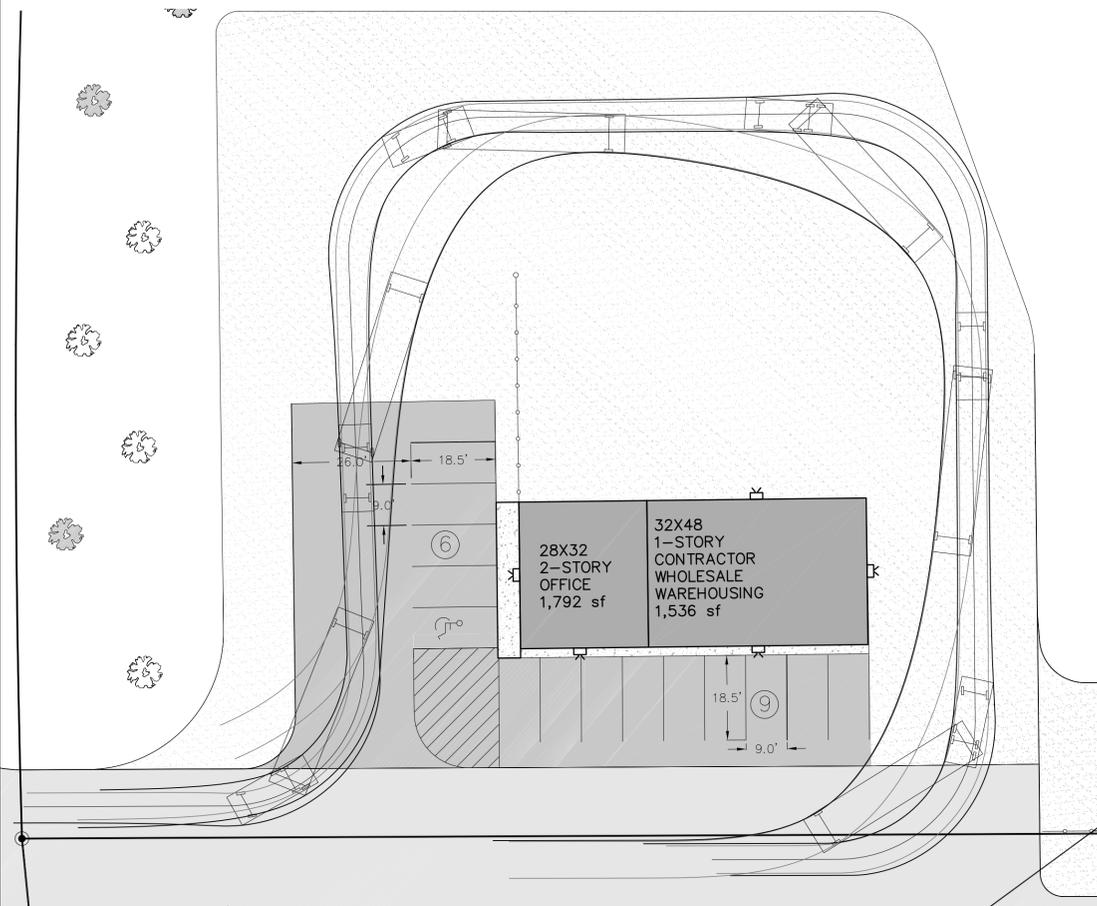


R7-8

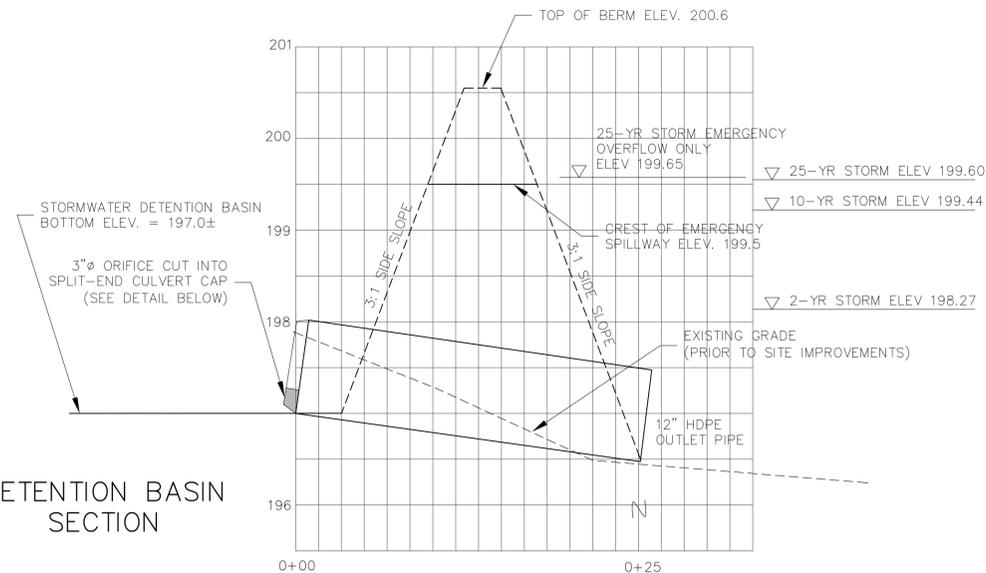


**TYPICAL DRAINLINE TRENCH DETAIL**  
NOT TO SCALE

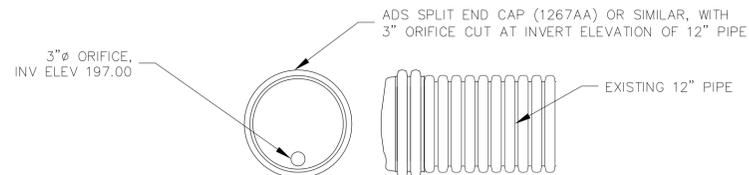
NOTE:  
2"x2" STYROFOAM INSULATION BOARD SHALL BE PLACED IN AREAS WHERE COVER OVER LINE IS LESS THAN 2.5', OR WHERE SHOWN.



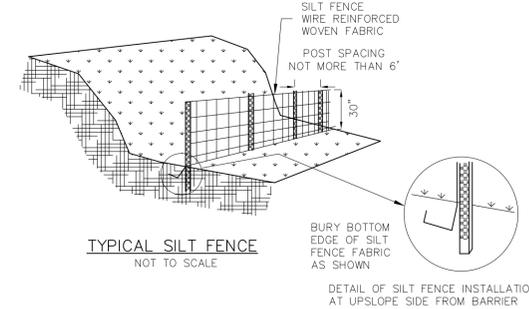
**TURNING RADIUS DETAIL**  
SCALE: 1" = 20'



**DETENTION BASIN SECTION**



**OUTLET PIPE DETAIL**



**TYPICAL SILT FENCE**  
NOT TO SCALE

**GRASS SWALE DETAIL**  
NOT TO SCALE

**EROSION AND SEDIMENT CONTROL PRACTICES**

- NO SOIL SHALL BE DISTURBED DURING THE PERIOD OF MARCH 1 THROUGH APRIL 15, NOR DURING ANY OTHER PERIOD WHEN SOILS ARE SATURATED DUE TO RAIN OR SNOW MELT.
  - DISTURBED SOILS SHALL BE STABILIZED WITHIN ONE (1) WEEK FROM THE TIME IT WAS LAST ACTIVELY WORKED USING TEMPORARY OR PERMANENT MEASURES SUCH AS PLACEMENT OF RIPRAP, MULCH OR OTHER EROSION CONTROL BLANKET, OR OTHER COMPARABLE MEASURES.
  - HAY OR STRAW MULCH, WHERE USED, SHALL BE APPLIED AT A RATE OF AT LEAST ONE (1) BALE PER 500 SQUARE FEET (1-2 TONS PER ACRE).
  - IF MULCH IS LIKELY TO BE REMOVED DUE TO STEEP SLOPES OR WIND, IT SHALL BE ANCHORED WITH NETTING, PEG OR TWINE, OR OTHER SUITABLE METHOD AND SHALL BE MAINTAINED UNTIL A CATCH OF VEGETATION IS ESTABLISHED OVER THE ENTIRE DISTURBED AREA.
  - IN ADDITION TO PLACEMENT OF RIPRAP, MULCH OR EROSION CONTROL BLANKETS, ADDITIONAL STEPS SHALL BE TAKEN WHERE NECESSARY, IN ORDER TO PREVENT SEDIMENTATION OF THE WATER. EVIDENCE OF SEDIMENTATION INCLUDES VISIBLE GULLY EROSION, DISCOLORATION OF WATER BY SUSPENDED PARTICLES AND SLUMPING OF BANKS, SILT FENCES, STAKED HAY BALES AND OTHER SEDIMENTATION CONTROL MEASURES, WHERE PLANNED FOR, SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF WORK, BUT SHALL ALSO BE INSTALLED WHEREVER NECESSARY DUE TO SEDIMENTATION.
  - MULCH OR OTHER TEMPORARY MEASURES SHALL BE MAINTAINED UNTIL THE SITE IS PERMANENTLY STABILIZED WITH VEGETATION OR OTHER PERMANENT CONTROL MEASURES AFTER WHICH TEMPORARY MEASURES WILL BE REMOVED.
  - PERMANENT REVEGETATION OF ALL DISTURBED AREAS, USING NATIVE PLANT MATERIAL WHEN POSSIBLE, SHALL OCCUR WITHIN 30 DAYS FROM THE TIME THE AREAS WERE LAST ACTIVELY WORKED, OR FOR FALL AND WINTER ACTIVITIES, BY JUNE 15, EXCEPT WHERE PRECLUDED BY THE TYPE OF ACTIVITY (E.G. RIPRAP, ROAD SURFACES, ETC.). THE VEGETATIVE COVER SHALL BE MAINTAINED.
  - DISPOSAL OF COLLECTED DEBRIS MUST BE IN CONFORMANCE WITH MAINE SOLID WASTE LAW, TITLE 38 MRSA SECTION 1301 ET. SEQ.
- LIME AND FERTILIZER APPLICATION RATES SHALL NOT EXCEED THE FOLLOWING:  
GROUND LIMESTONE: 3 TONS/ACRE (130 LBS./1000 S.F.)  
FERTILIZER, 10-10-10 OF EQUIVALENT: 600 LBS./ACRE (14 LBS./1000 S.F.)
- FERTILIZER SHALL NOT BE APPLIED BEFORE START OF THE GROWING SEASON NOR AFTER SEPTEMBER 30. FERTILIZED AREAS SHALL BE MULCHED TO REDUCE OFF-SITE TRANSPORT OF NUTRIENTS UNTIL USED BY VEGETATIVE GROWTH.

**SEEDING MIXTURE AND SCHEDULE:**

SPREAD TOPSOIL UNIFORMLY 4" DEEP OVER ROADWAY SIDESLOPES AND OTHER AREAS TO BE SEEDED. THE FOLLOWING SEED MIXTURE SHALL BE USED:

ROADSIDE MIXTURE:	
RED FESCUE	50%
SHEEP FESCUE	25%
RED TOP	5%
WHITE CLOVER	10%
ANNUAL RYE	10%

APPLY LIME AND FERTILIZER AS SPECIFIED UNDER THE EROSION AND SEDIMENTATION CONTROL NOTES. WORK INTO THE TOP (4) INCHES OF SOIL PRIOR TO SEEDING. AFTER SEEDING, APPLY MULCH HAY AS SPECIFIED. ON FLAT AREAS AND NOT EXPOSED TO WIND, THE MULCH WILL BE ANCHORED BY WETTING DOWN. IN OTHER AREAS, JUTE NETTING SHALL BE USED FOR ANCHORAGE. THE ABOVE SEEDING SCHEDULE IS APPLICABLE IF SEEDING DURING THE GROWING SEASON (APRIL 15 TO JUNE 15 AND AUGUST 30 TO SEPTEMBER 30). BETWEEN JUNE 15 AND AUGUST 30, SEEDING WILL BE DELAYED UNTIL AUGUST 30. IF SOIL IS DISTURBED BETWEEN OCTOBER 1 AND NOVEMBER 1, DELAY SEEDING UNTIL NOVEMBER 1. AFTER NOVEMBER 1 AND BEFORE A SNOW COVER FORMS, THE SAME PROCEDURE WILL BE FOLLOWED EXCEPT THE SEED RATE WILL BE DOUBLED. AFTER SNOW COVER AND BEFORE APRIL 15, SEEDING WILL BE DELAYED UNTIL APRIL 15. HAY MULCH WILL BE APPLIED AT A RATE OF 150 LBS./1000 SQUARE FEET. THIS WILL BE ANCHORED BY NON-ASPHALTIC TACKIFIER SPRAYED ON LAWNS AND JUTE NETTING IN DRAINAGE WAYS AND OTHER AREAS.

TAX MAP NO. 004 LOT NO. 3-4



CIVIL CONSULTANTS  
**CIVIL CONSULTANTS**  
Engineers  
Planners  
Surveyors  
P.O. Box 100  
South Berwick  
Maine  
03908  
207-384-2550  
www.civcon.com

NO.	REVISIONS	DATE
2	REVISED PER SRC COMMENTS	4/26/16
1	REVISED PER TOWN COMMENTS	4/11/16

RECORD OWNER: STEVE & LISA DUPLISA  
OWNER ADDRESS: 118 NATANIS RIDGE CIRCLE, WELLS, ME

**ARMSTRONG FENCE SITE PLAN AMENDMENT**  
**BERWICK ROAD BUSINESS PARK**  
**632 NORTH BERWICK ROAD**  
**WELLS, MAINE**

PREPARED FOR: STEVE DUPLISA  
CLIENT ADDRESS: 118 NATANIS RIDGE CIRCLE, WELLS, ME 04090

AS NOTED  
DATE: 3/4/2016  
DRAWN BY: NJR  
CHECKED BY: GRA  
APPROVED BY: NJR

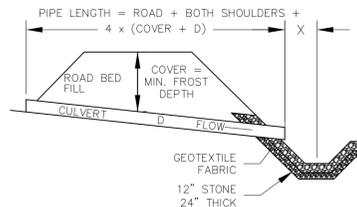
**AMENDED SITE PLAN DETAILS**

PROJECT NO: 04-464.02

**L2**

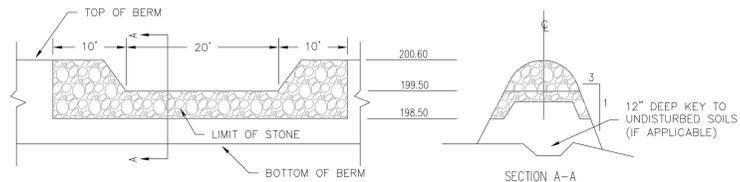
SHEET: 2 OF 2





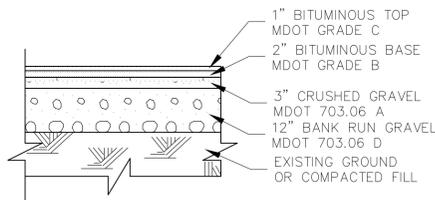
PIPE SIZE (INCHES)	X (FEET)	PLUNGE POOL
12"	2'	1 D DEEP
18"	3'	2 D SIDE
24"	5'	4 D LONG
36"	7'	

**PLUNGE POOL OUTLET PROTECTION DETAIL**  
NOT TO SCALE



- AREA BENEATH BERM SHALL BE STRIPPED OF ALL ORGANIC MATERIAL & DEBRIS.
- MATERIAL FOR BERM SHALL BE A SILT BASED MATERIAL SIMILAR TO MATERIAL EXCAVATED ON SITE. MATERIAL SHALL BE PLACED IN 12" LIFTS AND COMPACTED TO 95% OF MAXIMUM DENSITY.
- EXCEPT FOR STONE AREA SHOWN, SURFACE OF DETENTION AREA BERM SHALL BE LOAMED AND SEEDED USING THE SAME MATERIALS AND APPLICATION RATES AS REQUIRED FOR LAWN AREAS. IF BERM IS EXISTING AND IS STABILIZED SUFFICIENTLY WITH EXISTING VEGETATION, NO FURTHER PLANTINGS OR SEEDING WILL BE REQUIRED.

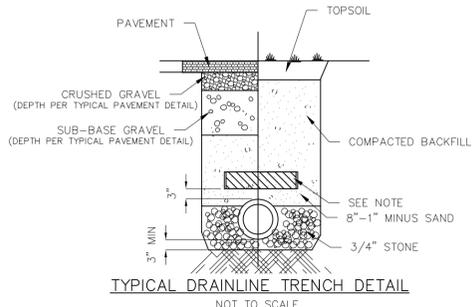
**POND BERM AND EMERGENCY OVERFLOW**  
NOT TO SCALE



**TYPICAL PAVEMENT SECTION**  
NOT TO SCALE

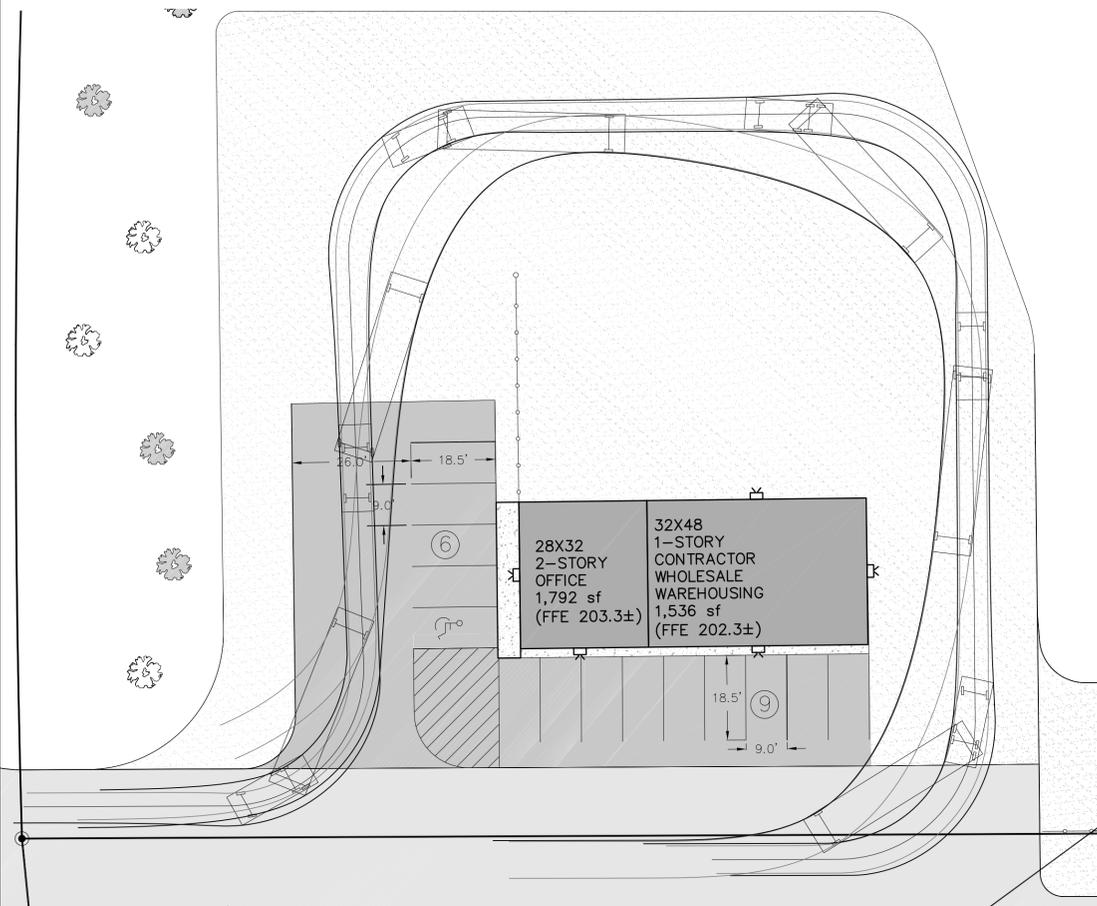


R7-8

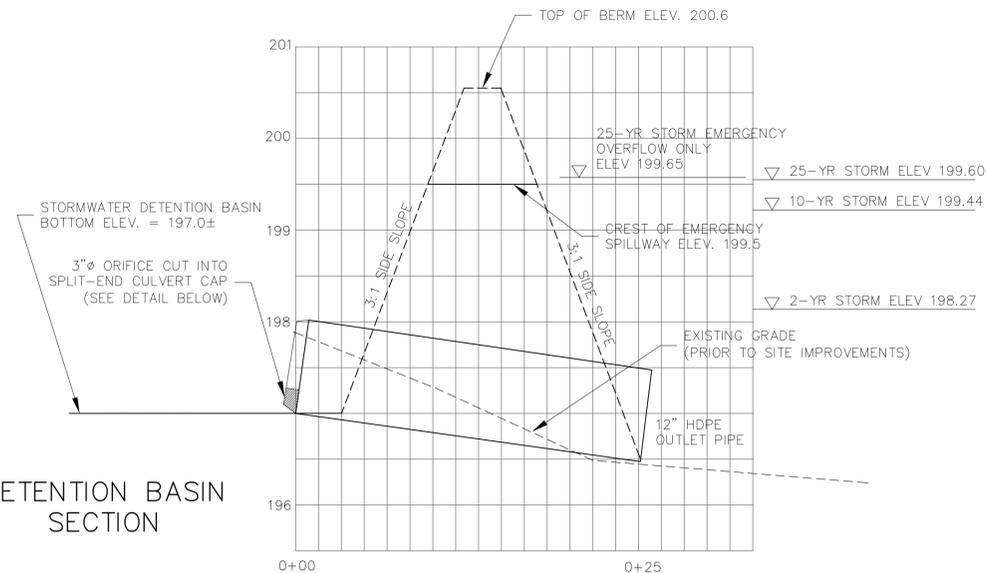


**TYPICAL DRAINLINE TRENCH DETAIL**  
NOT TO SCALE

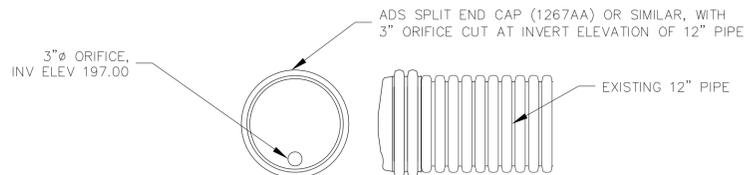
NOTE:  
2"x2" STYROFOAM INSULATION BOARD SHALL BE PLACED IN AREAS WHERE COVER OVER LINE IS LESS THAN 2.5', OR WHERE SHOWN.



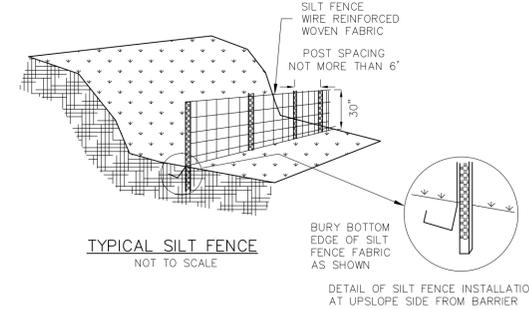
**TURNING RADIUS DETAIL**  
SCALE: 1" = 20'



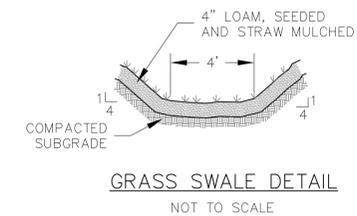
**DETENTION BASIN SECTION**



**OUTLET PIPE DETAIL**



**TYPICAL SILT FENCE**  
NOT TO SCALE



**GRASS SWALE DETAIL**  
NOT TO SCALE

**EROSION AND SEDIMENT CONTROL PRACTICES**

- NO SOIL SHALL BE DISTURBED DURING THE PERIOD OF MARCH 1 THROUGH APRIL 15, NOR DURING ANY OTHER PERIOD WHEN SOILS ARE SATURATED DUE TO RAIN OR SNOW MELT.
- DISTURBED SOILS SHALL BE STABILIZED WITHIN ONE (1) WEEK FROM THE TIME IT WAS LAST ACTIVELY WORKED USING TEMPORARY OR PERMANENT MEASURES SUCH AS PLACEMENT OF RIPRAP, MULCH OR OTHER EROSION CONTROL BLANKET, OR OTHER COMPARABLE MEASURES.
- HAY OR STRAW MULCH, WHERE USED, SHALL BE APPLIED AT A RATE OF AT LEAST ONE (1) BALE PER 500 SQUARE FEET (1-2 TONS PER ACRE).
- IF MULCH IS LIKELY TO BE REMOVED DUE TO STEEP SLOPES OR WIND, IT SHALL BE ANCHORED WITH NETTING, PEG OR TWINE, OR OTHER SUITABLE METHOD AND SHALL BE MAINTAINED UNTIL A CATCH OF VEGETATION IS ESTABLISHED OVER THE ENTIRE DISTURBED AREA.
- IN ADDITION TO PLACEMENT OF RIPRAP, MULCH OR EROSION CONTROL BLANKETS, ADDITIONAL STEPS SHALL BE TAKEN WHERE NECESSARY, IN ORDER TO PREVENT SEDIMENTATION OF THE WATER. EVIDENCE OF SEDIMENTATION INCLUDES VISIBLE GULLY EROSION, DISCOLORATION OF WATER BY SUSPENDED PARTICLES AND SLUMPING OF BANKS, SILT FENCES, STAKED HAY BALES AND OTHER SEDIMENTATION CONTROL MEASURES, WHERE PLANNED FOR, SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF WORK, BUT SHALL ALSO BE INSTALLED WHEREVER NECESSARY DUE TO SEDIMENTATION.
- MULCH OR OTHER TEMPORARY MEASURES SHALL BE MAINTAINED UNTIL THE SITE IS PERMANENTLY STABILIZED WITH VEGETATION OR OTHER PERMANENT CONTROL MEASURES AFTER WHICH TEMPORARY MEASURES WILL BE REMOVED.
- PERMANENT REVEGETATION OF ALL DISTURBED AREAS, USING NATIVE PLANT MATERIAL WHEN POSSIBLE, SHALL OCCUR WITHIN 30 DAYS FROM THE TIME THE AREAS WERE LAST ACTIVELY WORKED, OR FOR FALL AND WINTER ACTIVITIES, BY JUNE 15, EXCEPT WHERE PRECLUDED BY THE TYPE OF ACTIVITY (E.G. RIPRAP, ROAD SURFACES, ETC.). THE VEGETATIVE COVER SHALL BE MAINTAINED.
- DISPOSAL OF COLLECTED DEBRIS MUST BE IN CONFORMANCE WITH MAINE SOLID WASTE LAW, TITLE 38 MRSA SECTION 1301 ET. SEQ.

LIME AND FERTILIZER APPLICATION RATES SHALL NOT EXCEED THE FOLLOWING:  
GROUND LIMESTONE: 3 TONS/ACRE (130 LBS./1000 S.F.)  
FERTILIZER, 10-10-10 OF EQUIVALENT: 600 LBS./ACRE (14 LBS./1000 S.F.)  
FERTILIZER SHALL NOT BE APPLIED BEFORE START OF THE GROWING SEASON NOR AFTER SEPTEMBER 30. FERTILIZED AREAS SHALL BE MULCHED TO REDUCE OFF-SITE TRANSPORT OF NUTRIENTS UNTIL USED BY VEGETATIVE GROWTH.

**SEEDING MIXTURE AND SCHEDULE:**

SPREAD TOPSOIL UNIFORMLY 4" DEEP OVER ROADWAY SIDESLOPES AND OTHER AREAS TO BE SEEDED. THE FOLLOWING SEED MIXTURE SHALL BE USED:

ROADSIDE MIXTURE:	
RED FESCUE	50%
SHEEP FESCUE	25%
RED TOP	5%
WHITE CLOVER	10%
ANNUAL RYE	10%

APPLY LIME AND FERTILIZER AS SPECIFIED UNDER THE EROSION AND SEDIMENTATION CONTROL NOTES. WORK INTO THE TOP (4) INCHES OF SOIL PRIOR TO SEEDING. AFTER SEEDING, APPLY MULCH HAY AS SPECIFIED. ON FLAT AREAS AND NOT EXPOSED TO WIND, THE MULCH WILL BE ANCHORED BY WETTING DOWN. IN OTHER AREAS, JUTE NETTING SHALL BE USED FOR ANCHORAGE. THE ABOVE SEEDING SCHEDULE IS APPLICABLE IF SEEDING DURING THE GROWING SEASON (APRIL 15 TO JUNE 15 AND AUGUST 30 TO SEPTEMBER 30). BETWEEN JUNE 15 AND AUGUST 30, SEEDING WILL BE DELAYED UNTIL AUGUST 30. IF SOIL IS DISTURBED BETWEEN OCTOBER 1 AND NOVEMBER 1, DELAY SEEDING UNTIL NOVEMBER 1. AFTER NOVEMBER 1 AND BEFORE A SNOW COVER FORMS, THE SAME PROCEDURE WILL BE FOLLOWED EXCEPT THE SEED RATE WILL BE DOUBLED. AFTER SNOW COVER AND BEFORE APRIL 15, SEEDING WILL BE DELAYED UNTIL APRIL 15. HAY MULCH WILL BE APPLIED AT A RATE OF 150 LBS./1000 SQUARE FEET. THIS WILL BE ANCHORED BY NON-ASPHALTIC TACKIFIER SPRAYED ON LAWNS AND JUTE NETTING IN DRAINAGE WAYS AND OTHER AREAS.

TAX MAP NO. 004 LOT NO. 3-4



CIVIL CONSULTANTS  
**CIVIL CONSULTANTS**  
Engineers  
Planners  
Surveyors  
P.O. Box 100  
South Berwick  
Maine  
03908  
207-384-2560  
www.civcon.com

NO.	REVISIONS	DATE
3	REVISED PER TOWN COMMENTS	5/5/16
2	REVISED PER SRC COMMENTS	4/26/16
1	REVISED PER TOWN COMMENTS	4/11/16

RECORD OWNER:  
STEVIE & LISA DUPLISEA  
OWNER ADDRESS:  
118 NATANIS RIDGE CIRCLE  
WELLS, ME

PREPARED FOR:  
STEVE DUPLISEA  
118 NATANIS RIDGE CIRCLE, WELLS, ME 04090  
CLIENT ADDRESS:

AS NOTED  
DATE: 3/4/2016  
DRAWN BY: NJR  
CHECKED BY: GRA  
APPROVED BY: NJR

**AMENDED SITE PLAN DETAILS**

PROJECT NO: 04-464.02

**L2**

SHEET: 2 OF 2



## Planning & Development

208 Sanford Road, Wells, Maine 04090

Phone: (207) 646-5187, Fax: (207) 646-2935

Website: [www.wellstown.org](http://www.wellstown.org)

<i>Michael G. Livingston, Town Engineer/Planner</i>	<a href="mailto:mlivingston@wellstown.org">mlivingston@wellstown.org</a>
<i>Shannon M. L. Belanger, Planning Assistant</i>	<a href="mailto:sbelanger@wellstown.org">sbelanger@wellstown.org</a>

### Site Plan Amendment Application Memo

Date: May 5, 2016

To: Staff Review Committee

From: Planning Office

Re: Fire & Brew/ Hidden Cove Brewery – Site Plan Amendment Application - Map 121, Lot 14

Richard Varano has submitted a site plan amendment application and plan to obtain approval for the Standard Restaurant to go from 120 seats to 38 seats; to obtain approval for 200 SF Fast Food Restaurant use (food truck); and to obtain approval for the brewery to expand into the existing buildings (540 SF to 4,545 SF). The brewery is considered a Business Wholesale/ Business Retail, including manufacturing use). The parcel is located off of 73 Mile Road and is within the General Business and 250' Shoreland Overlay District. The property is served by public sewer and public water and is identified as Tax Map 121, Lot 14. The property is located over 75% within the Shoreland Overlay District and therefore the maximum lot coverage allowed is 40%.

#### **§ 145-70. Applicability.**

All uses identified as permitted with site plan approval in Article V shall be subject to the requirements of this article in the following situations:

- A. A new use is proposed on a lot; **a 200 SF Fast-Food Restaurant use is proposed**
- B. Resumption of a use which has been discontinued for at least two years is proposed; or
- C. An existing use proposes to expand its gross floor area and/or land area. **Yes a Business Retail including Manufacturing/ Business Wholesale use is proposed to go from 540 SF to 4,545 SF; Standard Restaurant reduction from 120 seats to 38**

#### **§ 145-71. Reviewing authority. [Amended 4-19-1997]**

- A. The reviewing authority for uses or structures requiring site plan review under Article V shall be determined by the Reviewing Authority Chart. **Editor's Note: The Reviewing Authority Chart is included at the end of this chapter. [Amended 4-18-1998] The amendments sought requires Staff Review committee approval.**
- B. If a particular reviewing authority is set forth in sections of the Wells Municipal Code other than Subsection A of this section for a particular use, structure or procedure that conflicts with the above chart, such other sections of the Code will control with respect to the proper review authority.

#### **§ 145-72. Applications. [Amended 4-26-1996]**

Appropriate application forms shall be available from the Office of Planning and Development. All applications shall be filed with the Office of Planning and Development, and the application fee shall be paid to the Town of Wells.

§ 145-73. Fees.

- A. An application fee as established by the Board of Selectmen, following notice and a public hearing, shall be paid at the time an application is filed. **Applicant submitted an application fee and escrow deposit.**
- B. The applicant shall reimburse the Town for all expenses incurred for notifying abutters of the proposed site plan and advertising of any public hearing regarding the site plan.
- C. The Town staff or Planning Board may employ the services of technical experts to assist it in reviewing applications and in determining appropriate conditions of approval. The applicant shall be informed of the intended use of such services and their approximate cost. A deposit equal to the estimated cost shall be paid to the Town prior to the employment of any such technical experts. The total cost of any such review shall be paid by the applicant prior to the signing of any approved plans. If the entire deposit is not expended, the remaining balance shall be returned to the applicant. [Amended 4-26-1996; 11-7-2000]

§ 145-74. Review and approval process.

- G. Amendment to approved site plans.
  - (2) Upon receipt of an application to amend a previously approved site plan, the Code Enforcement Officer shall follow the procedure for reviewing a site plan review preapplication as set forth in Subsection A. Notice of the filing of an application to amend an approved site plan shall follow the notice procedure for the filing of a preapplication for site plan review as set forth in Subsection A. **Procedure for site plan pre- application and application shall be followed. \***
  - (3) The procedure for reviewing applications to amend a previously approved site plan shall follow the procedure for reviewing a site plan review application as set forth in this section unless the reviewing authority determines that the amendment is of such an inconsequential nature that the full site plan review procedure is not necessary. For applications to amend a previously approved site plan, the reviewing authority may combine the preapplication and application steps and may waive the requirement for a public hearing.
  - (4) Field changes to approved site plans. [Added 4-18-1998] **Not applicable at this time**
- H. The Planning Board may require that a performance bond or other suitable financial guaranties be posted by the applicant. The form and amount of this bond of financial guaranty must be acceptable to the Town Manager. **Not applicable**
- I. Technical assistance. The Code Enforcement Officer, the Staff Review Committee or the Planning Board may, at its discretion, forward a copy of the application, the plans and all supporting documentation to any appropriate technical expert for review. The review may include traffic impact, roadway and parking area design and construction, stormwater management and erosion and sedimentation control, as well as any other concerns of the reviewing authority. The applicant shall pay for the employment of any such experts. (See § 175-73C.) **Not applicable**
- A. Preapplication. [Amended 4-14-2000] \*
  - (1) Prior to submitting an application, the applicant shall submit to the Office of Planning and Development a preapplication form, sketch plan of the subject property showing existing and proposed buildings, parking areas, lot boundaries, adjacent streets, entrances to the property, water bodies, any other significant features **Plan provided**, a list of names and addresses of abutters to the proposed project **Provided**, and a set of Size 10 envelopes addressed to the abutters **Provided**, affixed with first class postage. The addresses of these abutters shall be obtained from the Town of Wells Tax Assessor's records. Within seven days of receipt of a preapplication by the Office of Planning and Development, the Code Enforcement Officer shall:
    - (a) Determine the level of review to be required under § 14-71 and whether or not the proposed use is a permitted use on the subject lot. **On 4/14/16 the Code Officer determined the uses are permitted.**
    - (b) If the proposed use is a permitted use on the subject lot: **Abutter notification mailed 4/15/16**

- [1] Send or deliver a notice to the applicant and the abutters of such determinations by first class mail. **YES**
  - [2] Certify that said notices have been sent or delivered.
  - [3] If the reviewing authority pursuant to § 145-71 is the Code Enforcement Officer, indicate to the applicant the information the applicant needs to submit as part of the application. **Not applicable**
  - [4] If the reviewing authority pursuant to § 145-71 is the Staff Review Committee or the Planning Board, place the applicant on the next available agenda for a preapplication meeting, if a preapplication meeting is requested by the applicant. **Staff Review Committee recieved site plan amendment application on 4/26/16**
- (c) If the proposed use is not a permitted use on the subject lot, send a notice to the applicant of such determination by first class mail and certify that said notice has been sent.
- (2) The abutters' notification sent pursuant to Subsection A(1)(b)[1] above shall include a copy of the preapplication form and an explanation of the purpose of the notification. **YES** If the reviewing authority is the Staff Review Committee or the Planning Board and a preapplication meeting with the Committee or Board is requested by the applicant, the preapplication meeting date shall also be included in the notification **YES**, and said notification shall be sent or delivered by first class mail at least 10 days before the meeting. **Abutter notification mailed on 4/15/16; meeting was on 4/26/16**
  - (3) The Staff Review Committee or the Planning Board at its preapplication meeting with the applicant shall indicate the information which the applicant will be required to submit as part of the application and may schedule an on-site inspection of the property. The Committee or Board may waive any of the submission requirements listed in § 145-77 if it determines that they would not be applicable or are not necessary to determine that the standards of § 145-75 have been or will be met. **To be determined**
  - (4) If the applicant does not request a preapplication meeting with the Staff Review Committee or the Planning Board the applicant is encouraged to meet with the Director of Planning and Development to discuss the project and the information the applicant will be expected to submit as part of the application.

### **Recommendations and Conclusion:**

1. The SRC should review and workshop the following and have a round table with the applicant:
  - a. SRC to consider waiver of the perimeter survey on 5/10/16.
  - b. SRC to consider waiver of the parcel contours on 5/10/16.
  - c. SRC to review the requirements of note 9:
    - i. Determination on finding the proposed and existing fencing and vegetation as a sufficient screen for the residential abutters to be considered
    - ii. Determination on finding the proposed (1 shade tree) and existing vegetation are sufficient for the 15' wide landscaped buffer along Mile Road
    - iii. Determination on finding the timeline to complete all the plantings, re-seeding of gravel areas for grass, removal of wood enclosure and other site debris/coverage and reseedling for grass no later than 10-1-16
  - d. The SRC may consider a waiver of stormwater management as the applicant does not propose any new lot coverage or grade changes.
2. If the items above are address the committee to consider:
  - a. Finding the application complete (145-77)
  - b. Finding the application compliant (145-75)
  - c. Voting to approve and sign the Findings of Fact & Decisions and plan



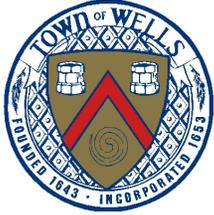
# Town of Wells, Maine

## Staff Review Committee

**FINDINGS OF FACTS & DECISIONS**  
**Site Plan Amendment Application for “Hidden Cove Brewery/ Fire & Brew”**  
 Page 1 of 11

### Article X Site Plan Approval

PROJECT INFORMATION	
<b>General:</b>	<p><b>Project Name:</b> Hidden Cove Brewery/ Fire &amp; Brew  <b>Applicant:</b> Richard Varano, 216 Mile Road, Wells, ME 04090  <b>Landowner:</b> Noetic Enterprises, Inc, 216 Mile Road, Wells, ME 04090  <b>Location:</b> 73 Mile Road  <b>Existing Use:</b> Standard Restaurant, 120 seats and 540 SF Business Wholesale/Business Retail use for Brewery and 270 SF accessory storage space  <b>Proposed Land Use:</b> Standard Restaurant, 38 seats and 4,545 SF Business Wholesale/Business Retail, including Manufacturing use for Brewery and 200 SF Fast-Food Restaurant use (food truck)  <b>Tax Parcel ID:</b> Tax Map 121, Lot 14  <b>Zoning District:</b> General Business &amp; 250' Shoreland Overlay District  <b>Art VII Performance Standard:</b> None  <b>Design Engineer:</b> None  <b>Plan Submission Date:</b> 4/6/2016</p>
<b>Project Description:</b>	<p>Richard Varano has submitted a site plan amendment application and plan to obtain approval for the Standard Restaurant to go from 120 seats to 38 seats; to obtain approval for 200 SF Fast Food Restaurant use (food truck); and to obtain approval for the brewery to expand into the existing buildings (540 SF to 4,545 SF). The brewery is considered a Business Wholesale/ Business Retail, including manufacturing use). The parcel is located off of 73 Mile Road and is within the General Business and 250' Shoreland Overlay District. The property is served by public sewer and public water and is identified as Tax Map 121, Lot 14. The property is located over 75% within the Shoreland Overlay District and therefore the maximum lot coverage allowed is 40%.</p>
<b>Completeness Determination:</b>	05/10/2016
<b>Public Hearing:</b>	Not Required
<b>Staff Review Mtg:</b>	04/26/2016; 05/10/2016



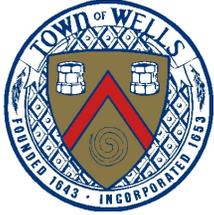
# Town of Wells, Maine

## Staff Review Committee

**FINDINGS OF FACTS & DECISIONS**  
**Site Plan Amendment Application for “Hidden Cove Brewery/ Fire & Brew”**  
**Page 2 of 11**

PROJECT HISTORY
<ol style="list-style-type: none"> <li>1. On 4/6/16 a site plan amendment application was submitted to the Planning Office.</li> <li>2. On 4/14/16 the Code Enforcement Officer, Jodine Adams, prepared a use determination finding the uses proposed to be permitted.</li> <li>3. On 4/15/16 abutters were then mailed notices of the amendment application and of the 4/26/16 Staff Review Committee meeting.</li> <li>4. On 4/18/16 the Town Engineer conducted a site visit.</li> <li>5. On 4/18/16 the applicant and the Planning Office finished drafting the site plan for review.</li> <li>6. On 4/20/16 the Planning Office prepared a site plan review memo for the applicant and SRC.</li> <li>7. On 4/26/16 the Staff Review Committee voted to receive the amendment application and continued the workshop.</li> <li>8. On 4/29/16 the Planning Office received the WSD capacity letter.</li> <li>9. On 5/4/16 the Planning Office received the KKWWD capacity letter.</li> <li>10. On 5/5/16 the Planning Office and applicant prepared a revised site plan draft for review.</li> <li>11. On 5/5/16 the Planning Office prepared Article V, VI, VII, draft completeness (145-77), and draft compliance (145-75)/ Findings of Fact &amp; Decision review checklists and a memo for the applicant and SRC to review.</li> <li>12. On 5/10/16 the Staff Review Committee made various determinations, voted to find the application complete, voted to find the application compliant, vote to approve and sign the Findings of Fact &amp; Decisions and voted to approve and sign the site plan.</li> </ol>

<b>§ 145-75. Criteria and Standards</b>	<b>Comments</b>
<p>The following standards shall be applied to all applications for site plan approval. These standards are intended to provide a frame of reference for the applicant in the development of his plans and a method of review. These standards shall be applied reasonably and fairly, when applicable, taking into account any extenuating circumstances or special features of the property or its neighborhood.</p>	



# Town of Wells, Maine

## Staff Review Committee

**FINDINGS OF FACTS & DECISIONS**  
**Site Plan Amendment Application for “Hidden Cove Brewery/ Fire & Brew”**  
**Page 3 of 11**

§ 145-75. Criteria and Standards		Comments
<p><b>A.</b> <b>Traffic.</b> The proposed development shall provide for safe access to and from public and private roads. Safe access shall be assured by providing an adequate number of exits and entrances that have adequate sight distances and do not conflict with or adversely impact the traffic movements at intersections, schools and other traffic generators. Curb cuts shall be limited to the minimum width necessary for safe entering and exiting. The proposed development shall not have an unreasonable adverse impact on the Town road system and shall provide adequate parking and loading areas. No use or expansion of a use shall receive site plan approval if any parking spaces are located in a public right-of-way or if any travel lane of a state number highway is used as part of the required aisle to access any parking spaces.</p>	<p><b>BASED ON THE FOREGOING THE STAFF REVIEW COMMITTEE FINDS THIS STANDARD SHALL REMAIN MET.</b></p> <p>Parcel has approx. 160' of street frontage along Mile Road. On-street parking is prohibited. 39 parking spaces are shown on the plan. 10 of which do not meet the 9' x 18.5' dimension or 26' aisle width. These spaces are grandfathered as non-conforming. 2 parking spaces are required to be handicap accessible; 2 accessible spaces are provided. The handicap spaces need to be posted with appropriate signage as depicted on site plan. Snow storage areas shown on the plan. Most parking is located within the Shoreland Overlay District. The existing parking is located greater than the 75' setback from the Resource Protection area (marsh). Areas that could be used for parking shall be on pavement and gravel. Over-flow grass parking for employees is depicted and may be utilized as noted below. The speed limit of Mile Road is 35 MPH. Site distances at the entrance/exit are noted to be greater than 800 feet in both directions.</p> <p>The 4545 SF change of use to Business Retail with manufacturing/ Wholesale use requires 16 parking spaces at 3.5 /1,000. 120 seats / 3 = 40 plus 120/20= 6; 46 spaces are required. 38 seats/3 + 38/20 =15 spaces required for the 38 Standard Restaurant use. 200/30 = 7 spaces required for the Fast-Food Restaurant (food truck) use. Parcel uses require 16+15+7 = 38 spaces. 39 spaces are provided.</p> <p>An additional 12 seasonal employee only spaces are also available from May 1 through November 1<sup>st</sup>. These spaces are non-conforming as they are stacked against other parking.</p>	
<p><b>B.</b> <b>Dust, fumes, vapors and gases.</b> Emission of dust, dirt, fly ash, fumes, vapors or gases which could damage human health, animals, vegetation or property or which could soil or stain persons or property, at any point beyond the lot line of the commercial or industrial establishment creating that emission, shall be prohibited.</p>	<p><b>BASED ON THE FOREGOING THE STAFF REVIEW COMMITTEE FINDS THIS STANDARD SHALL REMAIN MET.</b></p> <p>This property is prohibited from emitting dust, fumes, vapors and gases at any point beyond its lot lines.</p>	

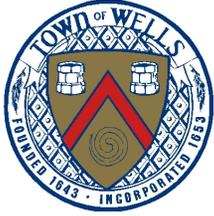


# Town of Wells, Maine

## Staff Review Committee

**FINDINGS OF FACTS & DECISIONS**  
**Site Plan Amendment Application for “Hidden Cove Brewery/ Fire & Brew”**  
**Page 4 of 11**

§ 145-75. Criteria and Standards		Comments
<b>C.</b>	<b>Odor.</b> No land use or establishment shall be permitted to produce offensive or harmful odors perceptible beyond its lot lines, measured either at ground or habitable elevation.	<p><b>BASED ON THE FOREGOING THE STAFF REVIEW COMMITTEE FINDS THIS STANDARD SHALL REMAIN MET.</b></p> <p>This property is prohibited from producing offensive or harmful odors at any point beyond its lot lines, measured at ground or habitable elevations.</p>
<b>D.</b>	<b>Glare.</b> No land use or establishment shall be permitted to produce a strong, dazzling light or reflection of that light beyond its lot lines onto neighboring lots or onto any Town way so as to impair the vision of the driver of any vehicle upon that Town way.	<p><b>BASED ON THE FOREGOING THE STAFF REVIEW COMMITTEE FINDS THIS STANDARD SHALL REMAIN MET.</b></p> <p>See note 12. Any signs shall comply with the requirements of 145-41.</p>
<b>E.</b>	<b>Stormwater runoff.</b> Surface water runoff shall be minimized and detained on site if possible or practicable in accordance with Chapter 202-12F(4) General Standards of the Wells Subdivision Ordinance (wherein the word “site plan” shall be substituted for “subdivision”). If it is not possible to detain water on site, downstream improvements to the channel may be required of the developer to prevent flooding which would be caused by his project. The natural state of watercourses, swales, floodways or rights-of-way shall be maintained as nearly as possible. <b>[Amended 4-27-2007]</b>	<p><b>BASED ON THE FOREGOING THE STAFF REVIEW COMMITTEE FINDS THIS STANDARD SHALL REMAIN MET.</b></p> <p><u>On 5/10/16 the SRC to consider a waiver of stormwater management as the applicant does not propose any new lot coverage or grade changes.</u></p>
<b>F.</b>	<b>Erosion control.</b> Erosion of soil and sedimentation of watercourses and water bodies shall be minimized by employing the following best-management practices: <b>[Amended 4-27-2007]</b>	<p><b>BASED ON THE FOREGOING THE STAFF REVIEW COMMITTEE FINDS THIS STANDARD SHALL REMAIN MET.</b></p> <p>Soil Erosion and Sedimentation Control measures are standard conditions of approval and are noted on the site plan. Best Management Practices shall be followed.</p>
(1)	Stripping of vegetation, soil removal and regrading or other development shall be accomplished in such a way as to minimize erosion.	
(2)	The duration of exposure of the disturbed area shall be kept to a practical minimum.	
(3)	Temporary vegetation and/or mulching shall be used to protect exposed critical areas during development.	

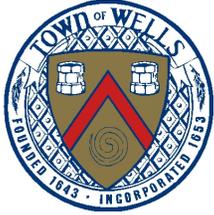


# Town of Wells, Maine

## Staff Review Committee

**FINDINGS OF FACTS & DECISIONS**  
**Site Plan Amendment Application for “Hidden Cove Brewery/ Fire & Brew”**  
**Page 5 of 11**

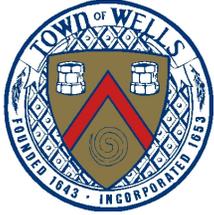
§ 145-75. Criteria and Standards		Comments
(4)	Permanent (final) vegetation and mechanical erosion control measures in accordance with the standards of the York County Soil and Water Conservation District or the Maine Soil and Water Conservation Commission shall be installed as soon as practicable after construction ends.	
(5)	Until a disturbed area is stabilized, sediment in runoff water shall be trapped by the use of debris basins, silt traps or other acceptable methods as determined by the reviewing authority.	
(6)	The top of a cut or the bottom of a fill section which alters the existing grade by more than two feet shall not be closer than 10 feet to an adjoining lot.	
(7)	During grading operations, methods of dust control shall be employed.	
(8)	The proposed site plan shall prevent soil erosion and sedimentation from entering waterbodies, wetlands, and adjacent properties.	
(9)	The procedures outlined in the erosion and sedimentation control plan shall be implemented during the site preparation, construction, and clean-up stages.	
(10)	Cutting or removal of vegetation along waterbodies shall not increase water temperature or result in shoreline erosion or sedimentation.	
(11)	Topsoil shall be considered part of the site plan and shall not be removed from the site except for surplus topsoil from roads, parking areas, and building excavations.	



# Town of Wells, Maine Staff Review Committee

**FINDINGS OF FACTS & DECISIONS**  
**Site Plan Amendment Application for “Hidden Cove Brewery/ Fire & Brew”**  
**Page 6 of 11**

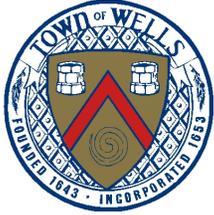
§ 145-75. Criteria and Standards		Comments
<p><b>G.</b>    <b>Setbacks and screening.</b> Parking and loading areas, exposed storage areas, exposed machinery installation and areas used for the storage or collection of discarded automobiles, auto parts, metals or any other articles of salvage or refuse shall have sufficient setbacks and screening to provide a visual buffer sufficient to minimize their adverse impact on the surrounding lots. Where a potential safety hazard to children would be likely to arise, physical screening sufficient to deter small children from entering the premises shall be provided and shall be maintained in good condition.</p>	<p><b>BASED ON THE FOREGOING THE STAFF REVIEW COMMITTEE FINDS THIS STANDARD SHALL REMAIN MET.</b></p> <p>See note 4. The existing building does not meet the setback from Map 121, Lot 13 but is grandfathered in this non-conformity as no changes to the restaurant structure are proposed.</p> <p>See note 16. The Food Truck (fast-food restaurant use) is not required to meet setback requirements provided the Food Truck has a valid license/ registration. If the Fast-Food Restaurant use is to be located on the property for 10 or more consecutive days or is not registered, the Food-Food Restaurant use is required to meet setbacks.</p> <p>This parcel abuts residential abutters (Map 121, Lots 13, 9B, and 8A). This property provides a solid 6' fence along the southerly and easterly boundaries for these residential abutters. Evergreen shrubs exist and shall be maintained in the two locations depicted on the site plan. These evergreens are to dampen noise issues for the southerly and easterly residential abutters. The applicant shall plant 2 evergreens (arborvitae) so that 5 arborvitae plantings exist around the compressor area. See note 9A.</p> <p>See note 9C. If noise continues to be an issue for abutters and the Code Office and/or Police Department have determined noise issues remain, a 6' tall solid fence shall be installed as depicted on the site plan around the arborvitae plantings.</p> <p><b><u>SRC to determine if the existing 6' tall solid fencing and plantings satisfy residential screening requirements and if note 9A and 9C satisfy residential abutter screening requirements and noise concerns.</u></b></p> <p>A small existing landscaped island and strip exists along Mile Road most of which is located within the Mile Road right-of-way. The north westerly boundary of this property shows grass. <b><u>One shade tree is recommended to be planted at the northwesterly corner. The SRC to determine if the landscape buffering along Mile Road is sufficient.</u></b></p>	



# Town of Wells, Maine Staff Review Committee

**FINDINGS OF FACTS & DECISIONS**  
**Site Plan Amendment Application for “Hidden Cove Brewery/ Fire & Brew”**  
**Page 7 of 11**

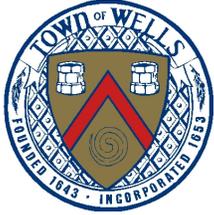
§ 145-75. Criteria and Standards		Comments
<b>H.</b>	<b>Explosive materials.</b> No highly flammable or explosive liquids, solids or gases shall be stored in bulk above ground, unless they are stored in compliance with the requirements of the National Fire Protection Association (NFPA) standards.	<p><b>BASED ON THE FOREGOING THE STAFF REVIEW COMMITTEE FINDS THIS STANDARD SHALL REMAIN MET.</b></p> <p>The property is served by 2 underground propane tanks. The sizes of these tanks are 1,000 gallon. These tanks are protected by stone boulders. Smaller LP tanks are identified on the plan. All fuel tanks shall be stored in compliance with NFPA standards.</p>
<b>I.</b>	<b>Water quality.</b> All aboveground outdoor storage facilities for fuel, chemicals, chemical or industrial wastes and potentially harmful raw materials shall be located on reinforced cement and shall be completely enclosed by an impervious dike monolithically poured, which shall be high enough to contain the total volume of liquid kept within the storage area, plus the rain falling into this storage area during a fifty-year storm, so that such liquid shall not be able to spill onto or seep into the ground surrounding the paved storage area. Storage tanks for home heating fuel and diesel fuel, not exceeding 275 gallons in size, shall be exempted from this requirement.	<p><b>BASED ON THE FOREGOING THE STAFF REVIEW COMMITTEE FINDS THIS STANDARD SHALL REMAIN MET.</b></p> <p>The above ground storage of fuels, chemicals and wastes shall be done in compliance with all water quality standards.</p>



# Town of Wells, Maine Staff Review Committee

**FINDINGS OF FACTS & DECISIONS**  
**Site Plan Amendment Application for “Hidden Cove Brewery/ Fire & Brew”**  
**Page 8 of 11**

§ 145-75. Criteria and Standards		Comments
<p><b>J.</b> <b>Preservation of landscape.</b> Unnecessary disturbance of the landscape shall be minimized, insofar as practicable, by minimizing tree removal and any grade changes.</p>	<p><b>BASED ON THE FOREGOING THE STAFF REVIEW COMMITTEE FINDS THIS STANDARD SHALL REMAIN MET.</b></p> <p>No tree removal or grade changes are proposed. The existing landscape shall be preserved. See note 9:</p> <ul style="list-style-type: none"> <li>a. 2 arborvitae (5 ft tall min., 3 ft oc) to be planted as shown around the compressor area if noise complaints are received by the Town and upon inspection by the Town noise is found to be excessive.</li> <li>b. Area of existing gravel to be top soiled and seeded to establish grass no later than 10/1/2016.</li> <li>c. If noise continues to be an issue for abutters after the 2 arborvitae trees are planted per above note 9a; and the Town has determined noise issues remain around the compressor area; a 6’ tall solid fence shall be installed as depicted on the site plan around the arborvitae plantings.</li> <li>d. The shade tree proposed at the northwesterly boundary to be located within the 15’ landscaped buffer. The shade tree to be planted no later than 10/1/2016.</li> <li>e. Wood enclosure and other items/debris behind the dumpster shall be removed and re-vegetated. The area to be top soiled and seeded to establish grass no later than 10/1/2016.</li> </ul> <p>The parcel is grandfathered as non-conforming with regard to lot coverage. The parcel is more than 75% within the Shoreland Overlay District and therefore lot coverage cannot exceed 40%. No new impervious surface is proposed. The existing and proposed lot coverage has been determined to be 63.4%.</p> <p>Some gravel (200 SF) shall be removed at the southwesterly corner of the lot to off-set the proposed Fast-Food Restaurant location no later than 10/1/2016.</p>	

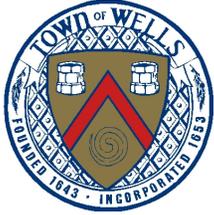


# Town of Wells, Maine

## Staff Review Committee

**FINDINGS OF FACTS & DECISIONS**  
**Site Plan Amendment Application for “Hidden Cove Brewery/ Fire & Brew”**  
**Page 9 of 11**

§ 145-75. Criteria and Standards		Comments
<b>K.</b>	<b>Refuse disposal.</b> The applicant shall provide for the disposal of all solid and liquid wastes on a timely basis and in an environmentally safe manner. The review board shall consider the impact of particular industrial or chemical wastes or by-products upon the Wells transfer station (in terms of volume, flammability or toxicity) and may require the applicant to dispose of such wastes elsewhere, in conformance with all applicable state and federal regulations. The board may require the applicant to specify the amount and exact nature of all industrial or chemical wastes to be generated by the proposed operation.	<p><b>BASED ON THE FOREGOING THE STAFF REVIEW COMMITTEE FINDS THIS STANDARD SHALL REMAIN MET.</b></p> <p>Refuse disposal is accomplished by an on-site dumpster. This dumpster shall meet all require setbacks and shall be screened with a 6' high solid fence.</p>
<b>L.</b>	<b>Water supply.</b> The applicant shall demonstrate the availability of adequate water supply for fire protection and the consumption needs of the proposed development.	<p><b>BASED ON THE FOREGOING THE STAFF REVIEW COMMITTEE FINDS THIS STANDARD SHALL REMAIN MET.</b></p> <p>A letter dated 5/4/2016 from the KKW Water District was received stating adequate water supply is available for the proposed uses utilizing public water. The Food Truck/ Fast-Food Restaurant use shall have no water connection.</p>
<b>M.</b>	<b>Sewage disposal.</b> The applicant shall provide for the safe disposal of all wastewaters.	<p><b>BASED ON THE FOREGOING THE STAFF REVIEW COMMITTEE FINDS THIS STANDARD SHALL REMAIN MET.</b></p> <p>A letter dated 4/29/16 from the Wells Sanitary District was received confirming sewer availability for the proposed uses utilizing public sewer. The Food Truck/ Fast-Food Restaurant use shall have no sewer connection.</p>
<b>N.</b>	<b>Fire safety.</b> The site plan shall make adequate provisions for access by fire-fighting equipment and personal.	<p><b>BASED ON THE FOREGOING THE STAFF REVIEW COMMITTEE FINDS THIS STANDARD SHALL REMAIN MET.</b></p> <p>A letter from the Fire Chief regarding fire safety is pending. No changes are proposed that would alter existing access on this property. If a Knox Box is installed, its location shall be reviewed by the Fire Department. The nearest fire hydrant is noted to be approx. 330' east from this properties entrance.</p>



# Town of Wells, Maine

## Staff Review Committee

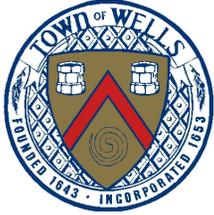
### FINDINGS OF FACTS & DECISIONS

#### Site Plan Amendment Application for "Hidden Cove Brewery/ Fire & Brew"

Page 10 of 11

#### **Standard Conditions of Approval**

1. Site Plan approval secured under the provisions of this chapter shall expire within 10 years from the date on which the site plan is signed if all aspects of the site plan approval are not fully completed and established. Any site plan approval may include a phasing plan according to an approved time schedule not to exceed 10 years from the date on which the site plan is signed. Site plan approval shall expire if a use has been established and then discontinued for two years or more. [§145-74F]
2. Approval is conditioned upon compliance by the applicant with the plans and specifications which have been received by the Town in connection with this development proposal.
3. Conditions of approval or notes written on the face of the site plan may be amended only by the reviewing authority that approved the site plan. [§145-74G(1)(b)]
4. Failure to comply with any conditions of approval shall be construed to be a violation of Article X of the Land Use Ordinance and shall be grounds for revoking the approved development plan, initiating legal proceedings to enjoin construction development or any specific activity violating the conditions of plan approval or applying the legal penalties detailed in §145-64. [§145-79A]
5. Whenever sedimentation is caused by stripping vegetation, regrading or other development, it shall be the responsibility of the owner to immediately install sedimentation control devices on his lot and to remove sediment from all adjoining surfaces, drainage systems and watercourses and to repair any drainage, at his expense, as quickly as possible. Any landowner that fails to do so within two weeks after official written notification by the Code Enforcement Officer shall be penalized as set forth in §145-64. [§145-79B]
6. Erosion of soil and sedimentation of watercourses and water bodies shall be minimized by employing the following best-management practices [§145-75F]:
  - (a) Stripping of vegetation, soil removal and regrading or other development shall be accomplished in such a way as to minimize erosion.
  - (b) The duration of exposure of the disturbed area shall be kept to a practical minimum.
  - (c) Temporary vegetation and/or mulching shall be used to protect exposed critical areas during development.
  - (d) Permanent (final) vegetation and mechanical erosion control measures in accordance with the standards of the York County Soil and Water Conservation District or the Maine Soil and Water Conservation Commission shall be installed as soon as practicable after construction ends.
  - (e) Until a disturbed area is stabilized, sediment in runoff water shall be trapped by the use of debris basins, silt traps or other acceptable methods as determined by the reviewing authority.
  - (f) The top of a cut or the bottom of a fill section which alters the existing grade by more than two feet shall not be closer than 10 feet to an adjoining lot.
  - (g) During grading operations, methods of dust control shall be employed.
  - (h) The proposed site plan shall prevent soil erosion and sedimentation from entering waterbodies, wetlands, and adjacent properties.
  - (i) The procedures outlined in the erosion and sedimentation control plan shall be implemented during the site preparation, construction, and clean-up stages.
  - (j) Cutting or removal of vegetation along waterbodies shall not increase water temperature or result in shoreline erosion or sedimentation.
  - (k) Topsoil shall be considered part of the site plan and shall not be removed from the site except for surplus topsoil from roads, parking areas, and building excavations.
7. The property shown on this plan may be developed and used only as depicted on this approved plan. All elements and features of the plan and all representations made by the applicant in the record of the Planning Board and/or Staff Review Committee proceedings are conditions of the approval. No change from the conditions of approval is permitted unless an amended plan is first submitted to and approved by the Planning Board and/or Staff Review Committee.
8. Approval of the application or amendment application does not relieve the applicant from the responsibility to obtain building permits prior to construction and use permits prior to occupancy.
9. It is the applicant's responsibility to contact Dig Safe prior to construction.
10. It is the owner/Homeowners Association/applicant/developer's responsibility, not the Town Code Office or Town Planning Office, to contact the Town Clerk's Office to apply for and maintain any and all business license(s) for the use(s) conducted on this subdivision/site plan parcel(s).
11. Approval of any proposed field changes shall be obtained prior to construction. Said approvals shall be in writing. The Code Enforcement Office shall consult with the Office of Planning and Development prior to approving any field change.
12. Prior to the pouring of a building footing/foundation, the location of each cottage and/or building to be constructed shall be located on the face of the earth and shall be marked with surveyor pins or stakes. The developer shall receive approval of each cottage and/or building location from the Code Enforcement Office prior to the commencement of footing/foundation excavation.



---

# Town of Wells, Maine

## Staff Review Committee

---

### FINDINGS OF FACTS & DECISIONS

#### Site Plan Amendment Application for "Hidden Cove Brewery/ Fire & Brew"

Page 11 of 11

13. If the property will be converted to a condominium form of ownership, the proposed condominium documents must be presented to the Town for review and approval by the Town Attorney. No use permit shall be issued until the Town Attorney has indicated approval of the condominium documents.
14. Upon completion of construction, the applicant shall provide to the Town record as-built drawings of the roadway, drainage, and utility related construction work.
15. The Town of Wells, Maine may employ the services of an engineering firm to assist in the inspection of roads and other infrastructure if, in the opinion of the Code Enforcement Office, the work necessary to insure compliance with Town ordinances or the requirements of this approval are beyond those capacities available by staff. The cost of such additional services will be born by the developer.
16. All components, features, improvements and conditions of site plan approval shall be fully completed prior to any issuance of a certificate of occupancy.

#### **Special Conditions of Approval**

1. All previous Conditions of Approval will remain in effect unless specifically amended by this amendment application. The approval of this Amended Site Plan in no way negates the need for applicant compliance with all previously set Conditions of Approval.

Dated at Wells, Maine this \_\_\_\_\_ day of \_\_\_\_\_, 2016

Wells Staff Review Committee

By: \_\_\_\_\_

NOTES

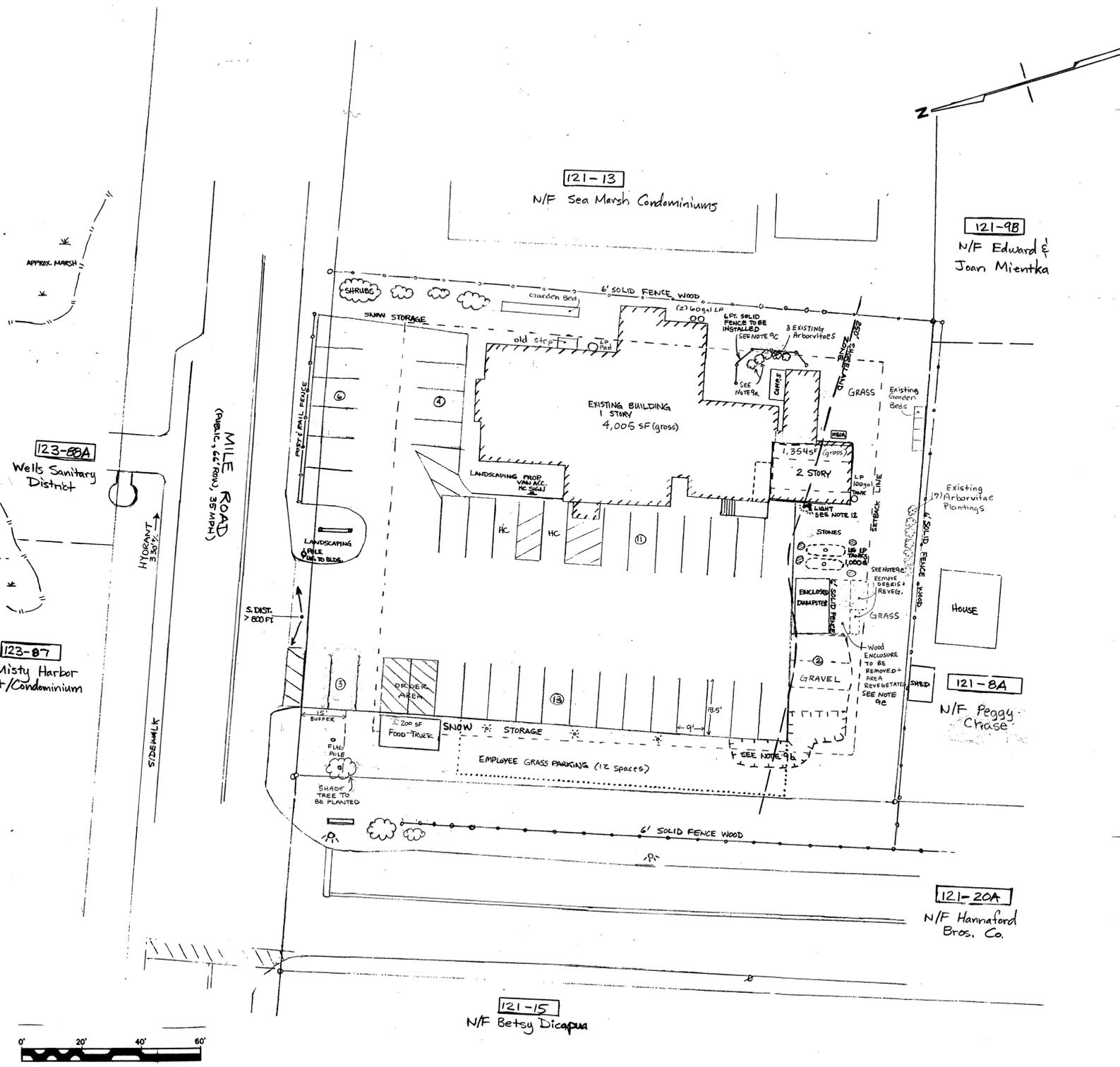
- The purpose of this amended site plan is to obtain approval for the Standard Restaurant to go from 120 seats to 38 seats; to obtain approval for 200 SF Fast Food Restaurant use (food truck); and to obtain approval for the brewery to expand into the existing buildings (540 SF to 4,545 SF). The brewery is considered a Business Wholesale/ Business Retail, including Manufacturing use.
- Owner: Fire & Brew Inc. Applicant: Richard Varano  
216 Mile Road, Wells, ME
- Property Information:  
73 Mile Road, Wells, ME  
Lot Area: 32,992 SF (Ref. Plan 1)  
Zoning Districts: General Business & 250' Shoreland Overlay  
Served by municipal water and sewer districts.
- Dimensional Requirements:  
Min. Lot size: 20,000 SF  
Min. Street Frontage: 100 feet (160' ± on Mile Road)  
Min. Street ROW Setback: 25 feet  
Min. Lot line setback: 15 feet  
Maximum Lot Coverage: 40% (> 75% of the property is in Shoreland Overlay)  
Max. Building Height: 34 feet
- Existing Uses:  
Standard Restaurant, 120 seats (open 3 PM, dinner only)  
Business, Wholesale/ Business, Retail (540 SF) (8 AM to 4 PM)
- Proposed Uses:  
Standard Restaurant, 38 seats  
Business, Wholesale/ Business, Retail including manufacturing (4,545 SF)  
Fast-Food Restaurant, 200 SF (Food Truck)
- Existing & Proposed Lot Coverage: (grandfathered non-conforming)  
Building: 5,365 SF  
Pavement: 14,392 SF  
Gravel: 1,144 SF  
Total: 20,921 SF / 32,992 = 63.4 %
- Parking Requirements:  
38 seats / 3 + 38/20 (1 per 20 seats for employees) = 13 + 2 = 15 spaces required for Standard Restaurant use  
4,545 x 3.5/1000 = 16 spaces required for the Business Wholesale/Retail with Manufacturing use  
200 SF/30 = 7 spaces required for the Fast-Food Restaurant use  
Total required parking = 38 spaces  
Total provided parking = 39 spaces  
\* Existing 36 paved spaces (2 handicap) provided + 2 gravel spaces = 38 (grandfathered non-conforming spaces less than 9' x 18.5' and less than a 26' aisle = 13 spaces)  
\* Additional 12 grass spaces available for employees only (seasonal, May 1<sup>st</sup> through November 1<sup>st</sup>).
- Proposed Landscaping:  
a. 2 arborvitae (5 ft tall min., 3 ft oc) to be planted as shown around the compressor area if noise complaints are received by the Town and upon inspection by the Town noise is found to be excessive.  
b. Area of existing gravel to be top soiled and seeded to establish grass no later than 10/1/2016.  
c. If noise continues to be an issue for abutters after the 2 arborvitae trees are planted per above note a; and the Town has determined noise issues remain around the compressor area; a 6' tall solid fence shall be installed as depicted on the site plan around the arborvitae plantings.  
d. The shade tree proposed at the northwesterly boundary to be located within the 15' landscaped buffer. The shade tree to be planted no later than 10/1/2016.  
e. Wood enclosure and other items/debris behind the dumpster shall be removed and re-vegetated. The area to be top soiled and seeded to establish grass no later than 10/1/2016.
- Any fences/screening/buffering/grass areas shall be maintained and replaced if removed or damaged.
- All signs shall be in conformance with 145-40. Any sign lighting shall be directional to prevent glare onto abutting streets or abutting properties.
- All lighting shall be directional and/or shielded to prevent glare onto streets or abutting properties.
- On-street parking is prohibited. No parking signs along Mile Road are recommended.
- Music, amplified or acoustic, not otherwise exempt, that is plainly audible and excessive, unnecessary or unreasonable at a point, not on the property where the music originates, but at the location where the complaint is made. The parcel shall comply with the requirements of 145-45.
- No waste materials or debris to be stored outside of roofed buildings on the property. All storage shall be enclosed within existing roofed buildings on the property.
- The Food Truck (fast-food restaurant use) is not required to meet setback requirements provided the Food Truck has a valid license/registration. If the Fast-Food Restaurant use is to be located on the property for 10 or more consecutive days or is not registered, the Food-Food Restaurant use is required to meet setbacks.
- The installation of a Knox Box is recommended. The Fire Department shall review the location of the Knox Box prior to installation.
- This property is prohibited from generating loud and offensive noise after 10 PM. Food Truck hours are to be 11AM to 10PM. To further mitigate noise impacts to abutters after 10PM, patrons and employees shall not congregate near abutting residential lot lines.
- The doors, windows and garage doors to the Brewery shall be shut at all times except that they may be opened for a brief period so that Brewery products can transfer in and out of the Brewery.

WELLS STAFF REVIEW COMMITTEE

APPROVAL DATE \_\_\_\_\_

- Plan References:
- Standard Boundary Survey for Richard Varano; by Maine Land Surveyors, Inc.; dated 12/13/1989.
  - Site Plan of Billy's "2" Go; by Richard Varano; dated 10/7/1999 and amended 3/6/2007.
  - Site Plan of Fire & Brew Restaurant and Captain Dick's Brewery by Richard Varano approved by the Wells Staff Review Committee on 6/11/2013.

- Standard Conditions of Approval
- Site Plan approval secured under the provisions of this chapter shall expire within 10 years from the date on which the site plan is signed. If all aspects of the site plan approval are not fully completed and established, any site plan approval may include a planing plan according to an approved time schedule not to exceed 10 years from the date on which the site plan is signed. Site plan approval shall expire if a use has been established and then discontinued for two years or more. (§145-74E)
  - Approval is conditioned upon compliance by the applicant with the plans and specifications which have been received by the Town in connection with this development proposal.
  - Conditions of approval or notes written on the face of the site plan may be amended only by the reviewing authority that approved the site plan. (§145-74C)(1)(B)
  - Failure to comply with any conditions of approval shall be considered to be a violation of Article X of the Land Use Ordinance and shall be grounds for revoking the approved development plan, initiating legal proceedings to enjoin construction development or any specific activity violating the conditions of plan approval or applying the legal penalties detailed in §145-64. (§145-79A)
  - Whoever's sedimentation is caused by striping, vegetation, grading or other development, it shall be the responsibility of the owner to immediately install sedimentation control devices on his lot and to remove sediment from all adjoining surfaces. Drainage systems and watercourses and to repair any drainage, at his expense, as quickly as possible. Any landowner that fails to do so within two weeks after official written notification by the Code Enforcement Officer shall be penalized as set forth in §145-64. (§145-79B)
  - Erosion of soil and sedimentation of watercourses and water bodies shall be minimized by employing the following best-management practices (§145-75F):
    - Stripping of vegetation, soil removal and regrading or other development shall be accomplished in such a way as to minimize erosion.
    - The duration of exposure of the disturbed area shall be kept to a practical minimum.
    - Temporary vegetation and/or mulching shall be used to protect exposed critical areas during development.
    - Permanent (final) vegetation and mechanical erosion control measures in accordance with the standards of the York County Soil and Water Conservation District or the Maine Soil and Water Conservation Commission shall be installed as soon as practicable after construction ends.
    - Until a disturbed area is stabilized, sediment in runoff water shall be trapped by the use of debris basins, silt traps or other acceptable methods as determined by the reviewing authority.
    - The top of a cut or the bottom of a fill section which alters the existing grade by more than two feet shall not be closer than 10 feet to an adjoining lot.
    - During grading operations, methods of dust control shall be employed.
    - The proposed site plan shall prevent soil erosion and sedimentation from entering waterbodies, wetlands, and adjacent properties.
    - The procedures outlined in the erosion and sedimentation control plan shall be implemented during the site preparation, construction, and clean-up stages.
    - Cutting or removal of vegetation along waterbodies shall not increase water temperature or result in shoreline erosion or sedimentation.
    - Topsoil shall be considered part of the site plan and shall not be removed from the site except for surplus topsoil from roads, parking areas, and building excavations.
  - The property shown on this plan may be developed and used only as depicted on this approved plan. All elements and features of the plan and all representations made by the applicant in the record of the Planning Board and/or Staff Review Committee proceedings are conditions of the approval. No change from the conditions of approval is permitted unless an amended plan is first submitted to and approved by the Planning Board and/or Staff Review Committee.
  - Approval of the application or amendment application does not relieve the applicant from the responsibility to obtain building permits prior to construction and use permits prior to occupancy.
  - It is the applicant's responsibility to contact Dig Safe prior to construction.
  - It is the owner/homeowners' Association/applicant/developer's responsibility, not the Town Code Office or Town Planning Office, to contact the Town Clerk's Office to apply for and maintain any and all business license(s) for the use(s) conducted on this subdivision/site plan parcel(s).
  - Approval of any proposed field changes shall be obtained prior to construction. Said approvals shall be in writing. The Code Enforcement Officer shall consult with the Office of Planning and Development prior to approving any field change.
  - Approved on the face of the earth and shall be marked with surveyor pins or stakes. The developer shall receive approval of each cottage and/or building location from the Code Enforcement Officer prior to the commencement of footing/foundation excavation. If the property will be converted to a condominium form of ownership, the proposed condominium documents must be presented to the Town for review and approval by the Town Attorney. No use permit shall be issued until the Town Attorney has indicated approval of the condominium documents.
  - Upon completion of construction, the applicant shall provide to the Town record as-built drawings of the roadway, drainage, and utility related construction work.
  - The Town of Wells, Maine may employ the services of an engineering firm to assist in the inspection of roads and other infrastructure if, in the opinion of the Code Enforcement Officer, the work necessary to insure compliance with Town ordinances or the requirements of this approval are beyond those capabilities available by staff. The cost of such additional services will be born by the developer.
  - All concrete, features, improvements and conditions of site plan approval shall be fully completed prior to any issuance of a certificate of occupancy.



Site Plan Amendment

Fire & Brew / Hidden Cove Brewery

73 Mile Road, Wells, ME 04090

Fire & Brew Inc  
Richard Varano  
73 Mile Road  
Wells, ME 04090

Date: 4/18/2016  
Rev: 5/5/2016

Scale: 1" = 20 feet

Tax Map 121, Lot 14

121-14

Trustees:  
Robert A. Emmons, President  
Richard H. Littlefield, Vice President  
James E. Burrows  
Thomas P. Oliver

# Kennebunk, Kennebunkport and Wells Water District

Normand R. Labbe, Superintendent  
Scott J. Minor, Assistant Superintendent  
Wayne A. Brockway, Treasurer

P.O. Box 88, 92 Main Street  
Kennebunk, Maine 04043

Phone 207-985-3385  
Fax 207-985-3102  
[www.kkw.org](http://www.kkw.org)

May 4, 2016

Richard Varano  
Hidden Cove Brewing Co.  
73 Mile Road  
Wells ME 04090

Subject: Remove Restaurant to expand the Brewery at 73 Mile Road Wells map 121 lot 14.

Dear Mr. Varano:

This letter is to inform you that near the above location an adequate domestic water supply is available from the District's 12-inch water main along Mile Road. Water pressure in this area typically averages approximately 65 PSI. For fire suppression purposes approximately 1,000 gallons per minute at 20 PSI residual pressure is available near this location. This figure is an estimate for planning purposes only. An actual field test should be performed by the owner's agent prior to designing any fire suppression system.

The owner may be assessed an appropriate share of the costs of system expansion which will include but may not be limited to a System Development Charge, based upon meter size and/or anticipated water consumption, as approved by the Maine Public Utilities Commission.

The property is currently one unit served by a 1" service line and 3/4" meter. If new units are added or upgraded service is needed to meet any additional demand that may result from this change of use, the owner will be allowed to request one pursuant to the District's rules and regulations in effect at that time.

Please call if you have any additional questions.

Sincerely,



Paul Cote  
Assistant Distribution Manager



# Wells Sanitary District

Nick F. Rico, P.E., Superintendent  
197 Eldridge Road, WELLS, MAINE 04090  
Office: (207) 646-5906 Fax: (207) 646-4020  
Website: [www.wellssanitarydistrict.org](http://www.wellssanitarydistrict.org)  
Email: [wsd@wellssanitarydistrict.org](mailto:wsd@wellssanitarydistrict.org)

BOARD OF TRUSTEES  
Dean C. Ramsdell  
Chairman  
Justin R. Batchelder  
Vice Chairman  
Al Niski  
Treasurer  
Ronald W. Brown  
Clerk  
Jason M. Talevi  
Deputy Clerk

April 29, 2016

Mr. Richard Varano  
Noetic Enterprises, Inc.  
216 Mile Road  
Wells, ME 04090

## Re: Fire & Brew Expansion

Dear Mr. Varano:

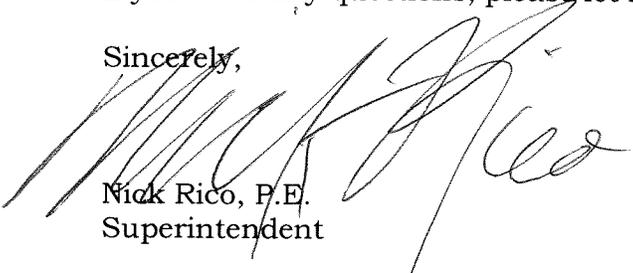
This letter confirms that the proposed expansion of the Fire & Brew facility will not result in a Capacity Reserve Fee to Wells Sanitary District. As discussed at the April 26, 2016 meeting at the Wells Community Center, the proposed Fire & Brew brewery expansion from 540 square feet to 4,500 square feet coincides with a reduction of seats from 120 to 38. The proposed expansion is primarily for storage, not to expand current brewery operations.

I have reviewed the capacity required for a 120-seat restaurant and compared that capacity to your current brewery operations. Given the sample collected last fall and a review of your 2015 water usage, the capacity taken up by the brewery is off set by the reduction in seating. Therefore, no Capacity Reserve Fee is required.

If you plan to expand the brewery operations in the future, I would have to review the expansion to determine if a capacity fee is warranted at that time.

If you have any questions, please let me know.

Sincerely,

  
Nick Rico, P.E.  
Superintendent

cc: Jodine Adams (Wells Code Enforcement Officer)  
Michael G. Livingston, P.E. (Wells Town Engineer/Planner)