



# TOWN OF WELLS, MAINE STAFF REVIEW COMMITTEE

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## Meeting Agenda

Tuesday, January 12, 2016, 9:00 AM

Littlefield Meeting Room, Town Hall

208 Sanford Road, Wells

### MINUTES

#### I. DECEMBER 29, 2015 DRAFT MEETING MINUTES

Documents: [SRC MIN 12-29-15.PDF](#)

### DEVELOPMENT REVIEW & WORKSHOPS

#### I. VERIZON WIRELESS UTILITY FACILITY

Portland Cellular Partnership, LLC, applicant; Wells Realty Limited Partnership, owner; Verrill Dana, LLP, agent. Site Plan Amendment Application to located a 700 SF Public Utility Facility (equipment shelter) with generator pad and HVAC unit on northwest corner of the lot. Parcel is located within the Residential A & General Business Districts and is located off of Buzzell Road and Steeple Way. Tax Map 120, Lot 3B. **Workshop completeness, compliance and Findings of Fact & Decisions for possible approval**

Documents: [VERIZON WIRELESS SITE PLAN APP MEMO 01-06-16.PDF](#), [VERIZON WIRELESS FACILITY DRAFT COMPLETENESS 01-06-16.PDF](#), [VERIZON WIRELESS FACILITY DRAFT FOF 01-07-15.PDF](#), [VERIZON WIRELESS FACILITY DRAFT PLAN 01-08-16.PDF](#), [VERIZON WIRELESS FACILITY FIRE LETTER 01-07-16.PDF](#)

#### II. KKWWD MERRILAND RIVER TREATMENT FACILITY AMENDMENT

Edgar Moore, owner, KKWWD applicant. Site Plan Amendment to erect a 30' tall pole immediately adjacent to the existing Treatment Facility building. The pole will be used to mount a data collector to collect and transit water meter reading data. No other changes are proposed. The property is located off of 95 Bypass Road and is within the Rural District. Tax Map 150, Lot 13. **Receive Site Plan Amendment Application, and workshop completeness**

Documents: [KKW MERRILAND RIVER FACILITY AMEND APP MEMO 01-07-16.PDF](#), [KKW MERRILAND RIVER FACILITY COMPLETENESS 01-07-16.PDF](#), [KKW MERRILAND RIVER FACILITY AMENDMENT APPLICATION SUBMISSION 12-29-15.PDF](#), [KKWMERRILAND RIVER FACILITY AMEND DRAFT PLAN 12-29-15.PDF](#)

#### III. MILLBROOKE FARM SUBDIVISION

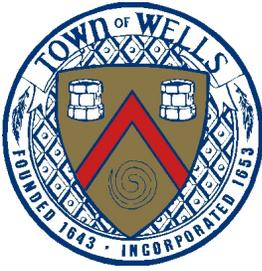
Kasprzak Landholdings, Inc. owner, Kasprzak Homes/ Robert Georgitis, applicant; Sebago Technics, agent. Preliminary Subdivision Application consisting of 70 dwelling units located within 35 duplex (two-family) buildings on land totaling 80.82 acres of which 60.69 acres to be dedicated as open space (Multifamily Development). The major subdivision proposes roadways and shall be

connected to public water and public sewer. The subdivision is located within the Rural and 75' Shoreland Overlay Districts and is located off of Willow Way/ Gateway Drive and Midway Drive. Tax Map 72, Lots 4B, 12 and 13. **Comment on application for the Planning Board**

Documents: [MILLBROOKE FARM PRELIM SUB MEMO 12-31-15.PDF](#), [MILLBROOK FARM COVER LETTER TO LIVINGSTON 122215.PDF](#), [MILLBROOKE FRAM FULL PLAN SET 122215.PDF](#)

**OTHER BUSINESS**

**ADJOURN**



## TOWN OF WELLS, MAINE STAFF REVIEW COMMITTEE

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Meeting Minutes  
Tuesday, December 29, 2015, 9:00 AM  
Littlefield Meeting Room, Town Hall  
208 Sanford Road, Wells

The meeting was called to order by Town Engineer/Planner Mike Livingston. Members present: Town Manager Jon Carter representing the Highway Department, Police Lt. Gerry Congdon, Fire Chief Dan Moore, Assistant Code Enforcement Officer Jim Genereux, Planning Assistant Shannon Belanger, Meeting Recorder Cinni Davidson.

### **MINUTES**

December 8, 2015

#### **MOTION**

Motion by Chief Moore, seconded by Mr. Genereux, to accept the minutes as submitted.  
**PASSED** 3-0-2 (Mr. Livingston was also at the meeting.)

### **DEVELOPMENT REVIEW AND WORKSHOP**

- I. VILLAGE BY THE SEA** – Village by the Sea, owner; Gail Phillips, applicant; BH2M, engineer. Site Plan Amendment Application to depict existing conditions and proposed pergola and outdoor patio off of the existing Function Hall. No changes proposed to the existing Motel units. The property is located off of 1373 Post Road and is within the General Business, 75' and 250' Shoreland Overlay Districts. Tax Map 129, Lot 32A.  
**Workshop completeness and draft compliance / Findings of Fact & Decisions if appropriate for possible approval**

Gail Phillips, applicant, presented the plan to add a pergola and outdoor patio off of the function hall. French doors will lead to the patio, which will be used for the cocktail hour before a wedding. The amendment will also depict existing conditions. The recommendations and conclusions in Mr. Livingston's memo were reviewed.

#### **MOTION**

Motion by Chief Moore, seconded by Mr. Genereux, to waive parcel contours. **PASSED** unanimously.

#### **MOTION**

Motion by Chief Moore, seconded by Mr. Genereux, to allow shared parking for the two uses, the function hall and motel, and to find that the 191 parking spaces are adequate. **PASSED** unanimously.

**MOTION**

Motion by Chief Moore, seconded by Mr. Genereux, to find that the existing screening/vegetation provided for the southerly abutter is adequate. Ms. Phillips said additional planting will be done in the spring to give their guests more privacy. **PASSED** unanimously.

**MOTION**

Motion by Chief Moore, seconded by Mr. Genereux, to find that the 25' vegetated buffer for the lodging facility is adequate, and Building #8 and the lodging office are considered grandfathered in not meeting the requirement. **PASSED** unanimously.

**MOTION**

Motion by Chief Moore, seconded by Mr. Genereux, to find that the existing landscaping along Route One satisfies the requirements. **PASSED** unanimously.

**MOTION**

Motion by Chief Moore, seconded by Mr. Genereux, to waive letters from KKW Water District and WSD. **PASSED** unanimously.

Mr. Carter asked if there will be any new lighting. There will be lights in the pavers in front to light up the columns on the pergola. Note 17 prohibits any glare onto abutting property or rights of way. The weddings start at different times, and not all will have an outdoor cocktail hour. Mr. Carter was concerned about lighting for visibility along the walkways at night. Mr. Livingston said if they decide to add more lighting later, they can include it in the building permit application.

Lt. Congdon asked if there will be music outside. Ms. Phillips said sometimes they have a DJ, but only for the first hour. Management is aware of the noise ordinance and there hasn't been a problem. The exits were discussed. Lt. Congdon asked if people can leave the patio and pergola area without going through the function hall. They can use the driveway, there are some side doors, and there will 3 sets of French doors in front.

**MOTION**

Motion by Chief Moore, seconded by Mr. Genereux, to find the application complete. **PASSED** unanimously.

Mr. Genereux questioned Item 1b. in the memo, that a structure does not meet the 15' setback from the Elmwood property line. Ms. Phillips said it is a bump-out for the kitchen that was part of the original construction. She will search for old pictures or plans showing the bump-out. Mr. Livingston said the Committee can find the application complete since the bump-out is shown on the plan; the question is whether it can be approved. It could be made a condition of approval that the applicant would have to obtain a mislocated building appeal prior to obtaining a building permit or occupancy permit.

**MOTION**

Motion by Mr. Carter, seconded by Mr. Genereux, to find the application compliant with the exception of verification by the Code Office. Mr. Genereux will research this. The building permit might be made contingent on the ZBA granting a mislocated building appeal.

**MOTION**

Motion by Mr. Carter, seconded by Chief Moore, to amend the motion and approve the site plan and Findings of Facts as presented. **PASSED** unanimously.

- II. VERIZON WIRELESS UTILITY FACILITY** - Portland Cellular Partnership, LLC, applicant; Wells Realty Limited Partnership, owner; Verrill Dana, LLP, agent. Site Plan Amendment Application to located a 700 SF Public Utility Facility (equipment shelter) with generator pad and HVAC unit on northwest corner of the lot. Parcel is located within the Residential A & General Business Districts and is located off of Buzzell Road and Steeple Way. Tax Map 120, Lot 3B. **Workshop completeness, compliance and Findings of Fact & Decisions for possible approval**

No representative of the applicant was present.

**ADJOURN**

**MOTION**

Motion by Chief Moore, seconded by Mr. Genereux, to adjourn and sign plans and Findings. **PASSED** unanimously.

**MOTION**

Motion by Chief Moore, seconded by Mr. Genereux, to reopen the meeting. **PASSED** unanimously.

**MOTION**

Motion by Chief Moore, seconded by Mr. Genereux, to continue the Verizon workshop for 30 days. **PASSED** unanimously.

**MOTION**

Motion by Chief Moore, seconded by Mr. Genereux, to adjourn and sign plans and Findings. **PASSED** unanimously.

RESPECTFULLY SUBMITTED:

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Cinndi Davidson, Meeting Recorder

ACCEPTED BY:

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Michael G. Livingston, PE, Town Engineer/Planner  
SRC Min 12-29-2015



## Planning & Development

208 Sanford Road, Wells, Maine 04090

Phone: (207) 646-5187, Fax: (207) 646-2935

Website: [www.wellstown.org](http://www.wellstown.org)

<i>Michael G. Livingston, Town Engineer/Planner</i>	<a href="mailto:mlivingston@wellstown.org">mlivingston@wellstown.org</a>
<i>Shannon M. L. Belanger, Planning Assistant</i>	<a href="mailto:sbelanger@wellstown.org">sbelanger@wellstown.org</a>

### Site Plan Application Memo

Date: January 6, 2016

To: Staff Review Committee

From: Planning Office

Re: Verizon Wireless Utility Facility – Map 120, Lot 3B

#### **Project Description:**

Kelly Boden, Esq. of Verrill Dana LLP, has submitted a site plan application on behalf of the applicant, Portland Cellular Partnership d/b/a Verizon Wireless on the property owned by Wells Realty Limited Partnership. The property is located off of Steeple Way and Buzzell Road and is identified at Tax Map 120, Lot 3B. The property is located within the General Business and Residential A District. The proposed development on the parcel is located within the Residential A zone. The proposed development consists of a 700 SF equipment shelter (public utility facility use) with generator and HVAC concrete pad areas. The parcel is 2.38 acres in size and is served by public water and public sewer. The parcel is currently undeveloped.

#### **§ 145-74. Review and approval process.**

#### **C. Staff Review Committee process. The SRC received the site plan application on 11/10/15**

- (1) The membership of the Staff Review Committee shall include the Road Commissioner, the Fire Chief, the Police Chief, the Code Enforcement Officer, Town Engineer (if any) and Director of Planning and Development or their designees. The Director of Planning and Development is the Chair of the Committee and shall designate the Vice Chair.
- (2) If there are site plan approval applications to review, the Staff Review Committee shall meet at least two times a month. The meeting schedule shall be established by the Director of Planning and Development by the first day of December for the following calendar year. The agenda for each Staff Review Committee meeting shall be posted in the Town Hall at least seven days prior to the meeting. Scheduled meetings may be rescheduled if the Committee members or their designees are unable to attend to a time agreed to by all applicants on the agenda for the meeting.
- (3) An applicant shall be notified of any Staff Committee meetings at which the applicant's plan will be reviewed and shall have the right to attend any Staff Review Committee meetings at which the plan may be reviewed.
- (4) A new application, revised application or proposed amendment to an approved plan shall be submitted to the Office of Planning and Development at least 10 days prior to the meeting at

which it will be considered. The application shall be accompanied by a site plan and the required fee. **Application submitted 10/23/15. SRC received on 11/10/15**

- (5) Upon the receipt of an application for site plan approval along with certification that the abutters have been sent or delivered notices of the site plan approval application by the applicant, the Code Enforcement Officer shall review the application and the site plan to determine if the proposed use meets the requirements of Articles V, VI and VII.
  - (a) If the application does or does not meet the requirements of Articles V, VI and VII, the Code Enforcement Officer shall notify the applicant in writing. **To be determined**
  - (b) If the application does meet the requirements of Articles V, VI and VII, the Director of Planning and Development shall place the application on the next meeting agenda of the Staff Review Committee and shall provide the Planning Board with a brief description of the application at its next meeting. At the meeting the Staff Review Committee shall determine if the application is complete. If it is not complete the applicant shall be notified in writing of the information needed to complete the application. **To be determined**
- (6) Upon determining that the application is complete, the Committee shall review the site plan and either approve the application and sign the site plan, approve the application with conditions and sign the site plan or deny the application. **To be determined**
- (7) The Staff Review Committee may only approve an application by a unanimous vote, and its decision shall be based on the criteria found in § 145-75, and it shall inform the applicant in writing within seven days of its decision stating its reasons. The Committee shall prepare detailed, written findings of fact, based on the evidence presented, and its conclusions and basis thereof. **To be determined**
- (8) The Staff Review Committee shall take action on a complete application within 35 days of its receipt by the Staff Review Committee or within a period of time mutually agreed to by the applicant and the Staff Review Committee. Failure to take action within 35 days or within the mutually agreed to time period shall constitute an automatic denial of the plan. **To be determined**

### **Recommendations and conclusions:**

1. The Staff Review Committee should comment on the following Article V, VI, VII and completeness review comments.
  - a. Plan revisions to be completed by the applicant as recommended ( plan purpose note, glare note, utility connections outside easement area?, no parking along Steeple Way/ access drive permitted note)
  - b. SRC to consider if the 2 spaces recommended by the CEO are adequate and vote approve
  - c. SRC to consider granting a waiver of a boundary survey
  - d. At Route 1, how is the telco utility connection routed to the utility easement underground (the line is shown outside the existing 20 foot wide easement)? Will another easement be obtained or will the pavement be cut for the line to be installed at Route One?
  - e. SRC to determine if any shade trees are required along Buzzell Road or if the existing arborvitae plantings satisfy the roadway landscape buffer requirement.
2. If the above items are satisfied or waivers granted the committee should consider finding the application complete.
3. The SRC should review compliance.
4. The SRC should review the draft Findings of Fact & Decisions and consider approving and signing them and the site plan.



**Town of Wells , Maine**  
**Article X , 145-77 Data Requirements (Completeness Review)**  
**Page 1 of 5**

Project Name/District: Verizon Wireless Utility Facility / Residential A & General Business District - Tax Map 120, Lot 3B      Date of Review: 12/21/15; 12/23/15; 01/06/16

Prepared By: Office of Planning & Development      Company Name: Town of Wells

**Article X**  
**Site Plan Approval**

§ 145-77. Data Requirements [Amended 4-26-1996]		Application Meet Requirements				
		Yes	No	NA	Waiver	Comments
Any application presented for approval shall include the following information if applicable:						
A.	A site plan drawn at a scale not smaller than one inch equals 40 feet which shall contain the following information:	Y				Plan Scales are 1" = 60/40/30/10 feet
	(1) The name and address of the applicant plus the name of the proposed development.	Y				Verizon Head End name noted on the plan sets.
	(2) Total floor area, ground coverage and location of each proposed building, structure or addition.	Y				700 SF proposed Public Utility Facility structure is proposed.  Sheet Z-3 notes the maximum lot coverage allowed to be 40%.  Plan notes that the proposed lot coverage of the RA District is 2.73%. The plan notes that no development is proposed within the GB zone.
	(3) Perimeter survey of the parcel, made and certified by a registered land surveyor licensed in Maine, relating to reference points, showing true or magnetic North, graphic scale, corners of parcel, date of survey and total acreage. The requirement for a certified boundary survey may be waived by the reviewing authority if the proposed construction is located a distance equal to the required setback plus 10 feet from any lot line.				W*	<b><u>Applicant may request a waiver of having a certified boundary plan prepared as the proposed construction shall meet the required setbacks plus 10 feet.</u></b>
	(4) All existing and proposed setback dimensions.	Y				See sheet Z-3. Setback lines are depicted on sheets Z-3 and Z-4.
	(5) The size, location, direction and intensity of illumination of all major outdoor lighting apparatus and signs.	Y*				The standard sign notes on sheet Z-4. <b><u>Light and glare note to be added to sheet Z-4.</u></b>
	(6) The type, size and location of all incineration devices.			NA		No such devices proposed.

**Town of Wells , Maine**  
**Article X , 145-77 Data Requirements (Completeness Review)**  
**Page 2 of 5**

Project Name/District: Verizon Wireless Utility Facility / Residential A & General Business District - Tax Map 120, Lot 3B

Date of Review: 12/21/15; 12/23/15; 01/06/16

Prepared By: Office of Planning & Development

Company Name: Town of Wells

§ 145-77. Data Requirements [Amended 4-26-1996]		Application Meet Requirements				
		Yes	No	NA	Waiver	Comments
(7)	The type, size and location of all machinery likely to generate appreciable noise at the lot lines.	Y				A generator is proposed approximately 28' from the westerly abutter. Arborvitae plantings are proposed to minimize noise.
(8)	The location, type and size of all existing and proposed catch basins, storm drainage facilities, wetlands, streams and watercourses and all utilities, both above and below ground.	Y*				See sheet Z-3 for existing conditions. See sheet Z-4 for proposed conditions. An existing flagged wetland (man-made) is delineated. Parcel contours are noted in the proposed leased area.  An existing utility pole is noted on the northerly side of Buzzell Road. A new utility pole is proposed on the south side of Buzzell Road. Underground utility routing is proposed from this new pole to the new facility.  <b><u>Proposed telco utility routing proposed underground from Route 1 pole #19? Underground telco utility line to be located within the existing 20' wide sewer/utility easement. This easement has existing sewer lines installed serving the westerly abutter.</u></b>
(9)	All existing contours and proposed finished grade elevations of the portions of the site which will be altered and the system of drainage proposed to be constructed. Contour intervals shall be specified by the reviewing authority. This requirement may be waived by the reviewing authority if no additional lot coverage is proposed or the proposed lot coverage is less than 30% and has an area of less than 15,000 square feet.	Y				1 foot contours of the leased area identified on the plan.

**Town of Wells , Maine**  
**Article X , 145-77 Data Requirements (Completeness Review)**  
**Page 3 of 5**

Project Name/District: Verizon Wireless Utility Facility / Residential A & General Business District - Tax Map 120, Lot 3B

Date of Review: 12/21/15; 12/23/15; 01/06/16

Prepared By: Office of Planning & Development

Company Name: Town of Wells

§ 145-77. Data Requirements [Amended 4-26-1996]		Application Meet Requirements				
		Yes	No	NA	Waiver	Comments
(10)	The location, type and size of all curbs, sidewalks, driveways, fences, retaining walls and parking space areas and the layouts thereof, together with the dimensions.	Y*				<p>The parking space(s) provided are delineated with sizes noted on the site plan. One parallel parking space and one 90 degree parking space are proposed.</p> <p>The Code Enforcement Office has provided a written recommendation of 2 spaces. <b><u>The SRC to review the parking requirement recommendation for the Public Utility Facility use proposed.</u></b></p>
(11)	All landscaped areas, fencing and size and type of plant material upon the premises.	Y				<p>An existing vinyl fence is noted along the existing common easement area shared with the westerly abutter. The height of this fence note to be 6' tall.</p> <p>Mature pine trees are noted along this existing vinyl fence. 3 trees will be removed due to excavation proposed. All other trees shall remain as noted.</p> <p>The 15' wide landscaped buffer along Buzzell Road consists of an existing 3' tall vinyl fence and various arborvitae plantings. <b><u>The Staff Review Committee to determine if these plantings satisfy the landscaped buffer requirements or if shade trees are required.</u></b></p>
(12)	All existing or proposed rights-of-way, easements and other legal restrictions which may affect the premises in question.	Y				<p>Easements as identified on the Wells Retail Development Subdivision plan (see highlighted plan provided) are labelled on sheets Z-3 or Z-4. The existing waterline easement area labelled. The 'newer' water line easement area on the approved subdivision plan may not have been conveyed. The proposed access easement of varying location is a 20' wide access easement for the existing access driveway, see Easement B, Book 15407, Page 348.</p>
(13)	The locations, names and widths of all existing and proposed streets abutting the premises.	Y				

**Town of Wells , Maine**  
**Article X , 145-77 Data Requirements (Completeness Review)**  
**Page 4 of 5**

Project Name/District: Verizon Wireless Utility Facility / Residential A & General Business District - Tax Map 120, Lot 3B

Date of Review: 12/21/15; 12/23/15; 01/06/16

Prepared By: Office of Planning & Development

Company Name: Town of Wells

§ 145-77. Data Requirements [Amended 4-26-1996]		Application Meet Requirements				
		Yes	No	NA	Waiver	Comments
	including those lots across the street, together with the names on file in the Town offices as of the date of the application.					
(14)	The lot lines of all lots abutting the proposed development, including those lots across the street, together with the names on file in the Town offices as of the date of the application.	Y				See sheet Z-1 for abutters information.
(15)	An appropriate place for the signature(s) of the reviewing authority.	Y				The Staff Review Committee signature blocks on applicable sheets.
B.	Documentation of right, title or interest in the proposed site.	Y				Memorandum of Lease provided.
C.	An on-site soils investigation report by a Maine Department of Human Services licensed site evaluator (unless the site is to be served by public sewer). The report shall identify the types of soil, location of test pits and proposed location and design for the subsurface disposal system.			NA		
D.	The amount and type of any raw, finished or waste materials to be stored outside of roofed buildings, including their physical and chemical properties, if appropriate.			NA		No such materials proposed.
E.	If the proposed use will be connected to the Wells Sanitary District's sewer system, a letter from the Sanitary District stating that adequate line and plant capacity to dispose of the generated sewage will be available.			NA		The plan notes that the facility shall have no water or sewer connections.
F.	If the proposed use will be connected to the Kennebunk, Kennebunkport and Wells Water District water system, a letter from the Water District stating that adequate line and supply capacity to serve the proposed use will be available.			NA		The plan notes that the facility shall have no water or sewer connections.
G.	Traffic data. Only the Planning Board may require that a site plan application include a traffic engineering study should the project be considered one of substantial magnitude along any of the Town's state highways where fast-moving traffic occurs (i.e., Route Nos. 1, 109, 9, 9-A and 9-B). Should a traffic study be requested by the Planning Board, the following data shall be included:			NA		The Staff Review Committee cannot require a traffic study.
(1)	The estimated peak-hour traffic to be generated by the proposal.					
(2)	Existing traffic counts and volumes on surrounding roads.					

**Town of Wells , Maine**  
**Article X , 145-77 Data Requirements (Completeness Review)**  
**Page 5 of 5**

Project Name/District: Verizon Wireless Utility Facility / Residential A & General Business District - Tax Map 120, Lot 3B

Date of Review: 12/21/15; 12/23/15; 01/06/16

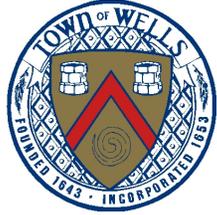
Prepared By: Office of Planning & Development

Company Name: Town of Wells

<b>§ 145-77. Data Requirements [Amended 4-26-1996]</b>		<b>Application Meet Requirements</b>				
		<b>Yes</b>	<b>No</b>	<b>NA</b>	<b>Waiver</b>	<b>Comments</b>
(3)	Traffic accident data covering a recent three-year period.					
(4)	The capacity of surrounding roads, municipal facilities, parking and any improvements which may be necessary on such roads and facilities to accommodate anticipated traffic generation.					
(5)	The need for traffic signals and signs or other directional markers to regulate anticipated traffic.					
H.	A soil erosion and sedimentation control plan, prepared in accordance with the Maine Erosion and Sedimentation Control Handbook for Construction: Best Management Practices, published by the Maine Department of Environmental Protection and the Cumberland County Soil and Water Conservation District, 1991. <b>[Amended 4-27-2007]</b>	<b>Y</b>				Standard terms and conditions of the Town of Wells are noted on the site plan.
I.	A stormwater management plan, prepared by a registered professional engineer in accordance with the most recent edition of Stormwater Management For Maine: BMPS Technical Design Manual, published by the Maine Department of Environmental Protection, 2006. Another methodology may be used if the applicant can demonstrate it is equally or more applicable to the site. A drainage analysis may be waived by the Planning Board upon request of the applicant and submittal of a letter from a registered professional engineer stating that there will be no adverse impacts to adjacent or downstream properties. <b>[Added 4-27-2007]</b>				<b>W</b>	On 11/10/15 the Staff Review Committee granted a waiver and did not require the submission of a stormwater management plan.  The project involves 2,400 SF of new gravel or building area on an 116,740 SF lot (2%). Impacts are minor or insignificant.
J.	Any other information or data the reviewing authority determines is necessary to demonstrate compliance with the standards of § 145-75. <b>[Added 4-27-2007]</b>					
	<b>Chapter 201, Article IV. Sidewalk Development.</b>			<b>NA</b>		

**Notes:**

1. See Article V, VI, VII review comments.



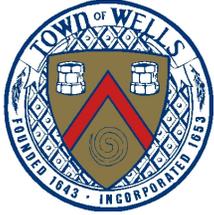
# Town of Wells, Maine

## Staff Review Committee

**FINDINGS OF FACTS & DECISIONS**  
**Site Plan Application for “Verizon Public Utility Facility”**  
 Page 1 of 11

### Article X Site Plan Approval

<b>PROJECT INFORMATION</b>	
<b>General:</b>	<p><b>Project Name:</b> Verizon Public Utility Facility - Wells ME Head End</p> <p><b>Applicant:</b> Portland Cellular Partnership d/b/a Verizon Wireless, 400 Friberg Pkwy, Westborough, MA 02581-3956</p> <p><b>Agent:</b> Kelly Boden, Esq. Verrill Dana, LLP, 1 Portland Sq, Portland, ME 04101</p> <p><b>Landowner:</b> Wells Realty Limited Partnership, 12 Brook St, Wellesley, MA 02482-6601</p> <p><b>Location:</b> Steeple Way, Wells, Maine</p> <p><b>Existing Use:</b> Vacant Land</p> <p><b>Proposed Land Use:</b> Public Utility Facility</p> <p><b>Tax Parcel ID:</b> Tax Map 120, Lot 3B</p> <p><b>Zoning District:</b> General Business &amp; Residential A Districts</p> <p><b>Art VII Performance Standards:</b> None</p> <p><b>Design Engineer:</b> Matt Burke, Tower Resource Management, Inc. 16 Chestnut St, Suite 420, Foxborough, MA 02035</p> <p><b>Plan Submission Date:</b> 10/13/2015</p>
<b>Project Description:</b>	<p>Kelly Boden, Esq. of Verrill Dana LLP has submitted a site plan application on behalf of the applicant, Portland Cellular Partnership d/b/a Verizon Wireless on the property owned by Wells Realty Limited Partnership. The property is located off of Steeple Way and Buzzell Road and is identified at Tax Map 120, Lot 3B. The property is located within the General Business and Residential A District. The proposed development on the parcel is located within the Residential A zone. The proposed development consists of a 700 SF equipment shelter (public utility facility use) with generator and HVAC concrete pad areas. The parcel is 2.38 acres in size and is served by public water and public sewer. The parcel is currently undeveloped.</p>
<b>Completeness Determination:</b>	1/12/2016
<b>Public Hearing:</b>	Not Applicable
<b>Staff Review Mtg:</b>	11/10/2016; 1/12/2016



# Town of Wells, Maine

## Staff Review Committee

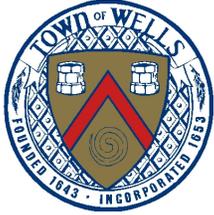
### FINDINGS OF FACTS & DECISIONS

#### Site Plan Application for "Verizon Public Utility Facility"

Page 2 of 11

#### PROJECT HISTORY

1. On 10/13/15 the applicant submitted a Site Plan Application for the above described project.
2. On 10/23/15 the Code Enforcement Officer found the use proposed to be permitted in the RA District.
3. On 10/26/15 abutters were mailed notice of the use determination and of the 11/10/15 Staff Review Committee meeting.
4. On 11/6/15 the Planning Office prepared a site plan amendment application memo and marked up the site plan submission with initial review comments and recommendations.
5. On 11/6/15 the Planning Office provided the review comments to the application.
6. On 11/10/15 the Staff Review Committee received the site plan application, voted to accept the recommendation for 1 parking space, and voted to waive the requirement of a stormwater management plan. The workshop of this application was then continued.
7. On 11/18/15 the Planning Office inquired into the status of a revised plan. The applicant needed more time.
8. On 12/14/15 the Planning Office received revised plans.
9. On 12/21/15 the Planning Office reviewed the revised plans and prepared Article V, VI, VII, and draft completeness (145-77) review checklists. The plans were also marked up with recommended changes and comments to be addressed.
10. On 12/21/15 the Code Enforcement Office provided a written recommendation for two parking spaces.
11. On 12/23/15 the Planning Office prepared a updated review memo for the Staff Review Committee.
12. On 12/29/15 the Staff Review Committee was scheduled to workshop the revised plans and review materials. However, due to inclement weather, the applicant requested for the workshop to be continued to the next available meeting. The SRC voted to continue this application.
13. On 1/6/15 the applicant submitted revised plans to the Planning Office for review.
14. On 1/6/15 the Planning Office reviewed the plan revisions and made not of some minor changes still needed to the plans. Plan changes were mailed back to the applicant on 1/6/15.
15. On 1/6/15 the Planning Office prepared updated Article V, VI, VII and completeness review checklists. Draft Findings of Fact & Decisions were prepared as well.
16. On \_\_\_\_ revised plans were submitted to the Planning Office addressing the review comments noted.
17. On 1/6/15 the Staff Review Committee voted to find various items acceptable, voted to waive the boundary survey, voted to find the application complete, voted to find the application compliant, voted to approve and sign the Findings of Fact & Decisions and voted to approve and sign the site plan.

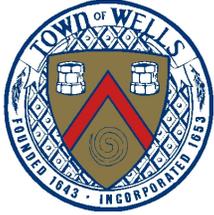


# Town of Wells, Maine

## Staff Review Committee

**FINDINGS OF FACTS & DECISIONS**  
**Site Plan Application for “Verizon Public Utility Facility”**  
**Page 3 of 11**

<b>§ 145-75. Criteria and Standards</b>		<b>Comments</b>
<p>The following standards shall be applied to all applications for site plan approval. These standards are intended to provide a frame of reference for the applicant in the development of his plans and a method of review. These standards shall be applied reasonably and fairly, when applicable, taking into account any extenuating circumstances or special features of the property or its neighborhood.</p>		
<b>A.</b>	<p><b>Traffic.</b> The proposed development shall provide for safe access to and from public and private roads. Safe access shall be assured by providing an adequate number of exits and entrances that have adequate sight distances and do not conflict with or adversely impact the traffic movements at intersections, schools and other traffic generators. Curb cuts shall be limited to the minimum width necessary for safe entering and exiting. The proposed development shall not have an unreasonable adverse impact on the Town road system and shall provide adequate parking and loading areas. No use or expansion of a use shall receive site plan approval if any parking spaces are located in a public right-of-way or if any travel lane of a state number highway is used as part of the required aisle to access any parking spaces.</p>	<p>See sheet Z-3. 280.91' of street frontage exists along Buzzell Road. Parcel does not have multiple street frontages. <b><u>The plan must note that parking along Steeple Way, Buzzell Road or the shared access driveway are prohibited.</u></b> The proposed parking area to be paved. The parking space(s) provided are delineated with sizes noted on the site plan. One 90 degree parking space and one parallel space are proposed. The 1 space provided to the east of the Utility Facility satisfies the ADA handicapped parking space requirement. The Code Enforcement Office has provided a written recommendation of 2 spaces. <b><u>The SRC to review the parking requirement recommendation for the Public Utility Facility use proposed.</u></b> Off-street parking provided. No off-site parking proposed. Snow storage areas depicted. Access road speed limit is noted to be 10 MPH. Steeple Way speed limit is noted. Sight distance onto Steeple Way is noted. The Staff Review Committee cannot require a traffic study.</p>
<b>B.</b>	<p><b>Dust, fumes, vapors and gases.</b> Emission of dust, dirt, fly ash, fumes, vapors or gases which could damage human health, animals, vegetation or property or which could soil or stain persons or property, at any point beyond the lot line of the commercial or industrial establishment creating that emission, shall be prohibited.</p>	<p>The parcel is prohibited from emitting such dust, fumes, vapors or gases at any point perceptible beyond its lot lines.</p>

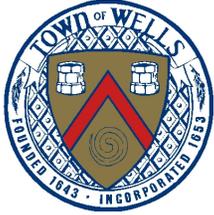


# Town of Wells, Maine

## Staff Review Committee

**FINDINGS OF FACTS & DECISIONS**  
**Site Plan Application for “Verizon Public Utility Facility”**  
**Page 4 of 11**

<b>§ 145-75. Criteria and Standards</b>		<b>Comments</b>
<b>C.</b>	<b>Odor.</b> No land use or establishment shall be permitted to produce offensive or harmful odors perceptible beyond its lot lines, measured either at ground or habitable elevation.	The parcel is prohibited from producing such odor at any point perceptible beyond its lot lines.
<b>D.</b>	<b>Glare.</b> No land use or establishment shall be permitted to produce a strong, dazzling light or reflection of that light beyond its lot lines onto neighboring lots or onto any Town way so as to impair the vision of the driver of any vehicle upon that Town way.	<b><u>The site plan must note that any exterior lighting shall be downward directional and not produce glare onto abutting lots or ROWs.</u></b>
<b>E.</b>	<b>Stormwater runoff.</b> Surface water runoff shall be minimized and detained on site if possible or practicable in accordance with Chapter 202-12F(4) General Standards of the Wells Subdivision Ordinance (wherein the word “site plan” shall be substituted for “subdivision”). If it is not possible to detain water on site, downstream improvements to the channel may be required of the developer to prevent flooding which would be caused by his project. The natural state of watercourses, swales, floodways or rights-of-way shall be maintained as nearly as possible. <b>[Amended 4-27-2007]</b>	On 11/10/15 the Staff Review Committee granted a waiver and did not require the submission of a stormwater management plan.  The project involves 2,400 SF of new gravel or building area on an 116,740 SF lot (2%). Impacts are minor or insignificant.
<b>F.</b>	<b>Erosion control.</b> Erosion of soil and sedimentation of watercourses and water bodies shall be minimized by employing the following best-management practices: <b>[Amended 4-27-2007]</b>	The 16 standard conditions of approval notes are listed on site plan sheet 4. Best Management Practices shall be followed.
(1)	Stripping of vegetation, soil removal and regrading or other development shall be accomplished in such a way as to minimize erosion.	
(2)	The duration of exposure of the disturbed area shall be kept to a practical minimum.	
(3)	Temporary vegetation and/or mulching shall be used to protect exposed critical areas during development.	

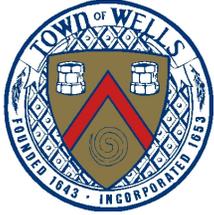


# Town of Wells, Maine

## Staff Review Committee

**FINDINGS OF FACTS & DECISIONS**  
**Site Plan Application for “Verizon Public Utility Facility”**  
**Page 5 of 11**

<b>§ 145-75. Criteria and Standards</b>		<b>Comments</b>
(4)	Permanent (final) vegetation and mechanical erosion control measures in accordance with the standards of the York County Soil and Water Conservation District or the Maine Soil and Water Conservation Commission shall be installed as soon as practicable after construction ends.	
(5)	Until a disturbed area is stabilized, sediment in runoff water shall be trapped by the use of debris basins, silt traps or other acceptable methods as determined by the reviewing authority.	
(6)	The top of a cut or the bottom of a fill section which alters the existing grade by more than two feet shall not be closer than 10 feet to an adjoining lot.	
(7)	During grading operations, methods of dust control shall be employed.	
(8)	The proposed site plan shall prevent soil erosion and sedimentation from entering waterbodies, wetlands, and adjacent properties.	
(9)	The procedures outlined in the erosion and sedimentation control plan shall be implemented during the site preparation, construction, and clean-up stages.	
(10)	Cutting or removal of vegetation along waterbodies shall not increase water temperature or result in shoreline erosion or sedimentation.	
(11)	Topsoil shall be considered part of the site plan and shall not be removed from the site except for surplus topsoil from roads, parking areas, and building excavations.	

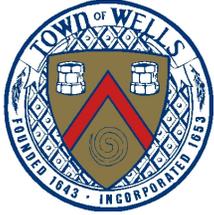


# Town of Wells, Maine

## Staff Review Committee

**FINDINGS OF FACTS & DECISIONS**  
**Site Plan Application for “Verizon Public Utility Facility”**  
**Page 6 of 11**

<b>§ 145-75. Criteria and Standards</b>		<b>Comments</b>
<b>G.</b>	<b>Setbacks and screening.</b> Parking and loading areas, exposed storage areas, exposed machinery installation and areas used for the storage or collection of discarded automobiles, auto parts, metals or any other articles of salvage or refuse shall have sufficient setbacks and screening to provide a visual buffer sufficient to minimize their adverse impact on the surrounding lots. Where a potential safety hazard to children would be likely to arise, physical screening sufficient to deter small children from entering the premises shall be provided and shall be maintained in good condition.	<p>See sheet Z-3. Setback lines are depicted. The parcel is not located within 200 feet from the high-water line of the Merriland River, the Webhannet River and the Ogunquit River.</p> <p>An existing vinyl fence is noted along the existing common easement area shared with the westerly abutter. The height of this fence note to be 6' tall.</p> <p>Mature pine trees are noted along this existing vinyl fence. 3 trees will be removed due to excavation proposed. All other trees shall remain as noted.</p> <p>The 15' wide landscaped buffer along Buzzell Road consists of an existing 3' tall vinyl fence and various arborvitae plantings. <b><u>The Staff Review Committee to determine if these plantings satisfy the landscaped buffer requirements or if shade trees are required.</u></b></p>
<b>H.</b>	<b>Explosive materials.</b> No highly flammable or explosive liquids, solids or gases shall be stored in bulk above ground, unless they are stored in compliance with the requirements of the National Fire Protection Association (NFPA) standards.	<p>The plan does not depict any fuel storage except that a small tank associated with the generator will be needed. Explosive materials shall be stored in compliance with NFPA standards.</p>



# Town of Wells, Maine

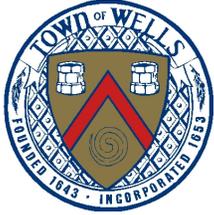
## Staff Review Committee

### FINDINGS OF FACTS & DECISIONS

#### Site Plan Application for "Verizon Public Utility Facility"

Page 7 of 11

§ 145-75. Criteria and Standards		Comments
I.	<p><b>Water quality.</b> All aboveground outdoor storage facilities for fuel, chemicals, chemical or industrial wastes and potentially harmful raw materials shall be located on reinforced cement and shall be completely enclosed by an impervious dike monolithically poured, which shall be high enough to contain the total volume of liquid kept within the storage area, plus the rain falling into this storage area during a fifty-year storm, so that such liquid shall not be able to spill onto or seep into the ground surrounding the paved storage area. Storage tanks for home heating fuel and diesel fuel, not exceeding 275 gallons in size, shall be exempted from this requirement.</p>	<p>Water quality standards shall be met.</p>



# Town of Wells, Maine

## Staff Review Committee

### FINDINGS OF FACTS & DECISIONS

#### Site Plan Application for “Verizon Public Utility Facility”

Page 8 of 11

§ 145-75. Criteria and Standards		Comments
J.	<b>Preservation of landscape.</b> Unnecessary disturbance of the landscape shall be minimized, insofar as practicable, by minimizing tree removal and any grade changes.	<p>The parcel is noted to be 2.68 acres in size. Sheet Z-3 notes the maximum lot coverage allowed to be 40%.</p> <p>Plan notes that the proposed lot coverage of the RA District is 2.73%. The plan notes that no development is proposed within the GB zone.</p> <p>See sheet Z-3 for existing conditions. See sheet Z-4 for proposed conditions. An existing flagged wetland (man- made) is delineated. Parcel contours are noted in the proposed leased area.</p> <p>An existing utility pole is noted on the northerly size of Buzzell Road. A new utility pole is proposed on the south side of Buzzell Road. Underground utility routing is proposed from this new pole to the new facility.</p> <p><b><u>Proposed telco utility routing proposed underground from Route 1 pole #19?</u></b> Underground telco utility line to be located within the existing 20' wide sewer/utility easement. <b><u>This easement has existing sewer lines installed serving the westerly abutter. Note referring to the location and lease recommended.</u></b></p> <p>1 foot contours of the leased area identified on the plan.</p>



# Town of Wells, Maine

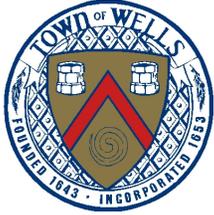
## Staff Review Committee

**FINDINGS OF FACTS & DECISIONS**  
**Site Plan Application for “Verizon Public Utility Facility”**  
**Page 9 of 11**

<b>§ 145-75. Criteria and Standards</b>		<b>Comments</b>
<b>K.</b>	<b>Refuse disposal.</b> The applicant shall provide for the disposal of all solid and liquid wastes on a timely basis and in an environmentally safe manner. The review board shall consider the impact of particular industrial or chemical wastes or by-products upon the Wells transfer station (in terms of volume, flammability or toxicity) and may require the applicant to dispose of such wastes elsewhere, in conformance with all applicable state and federal regulations. The board may require the applicant to specify the amount and exact nature of all industrial or chemical wastes to be generated by the proposed operation.	The plan notes that operators of the facility shall property dispose of refuse. The use shall not have a dumpster.
<b>L.</b>	<b>Water supply.</b> The applicant shall demonstrate the availability of adequate water supply for fire protection and the consumption needs of the proposed development.	The plan notes that the facility shall have no water or sewer connections.
<b>M.</b>	<b>Sewage disposal.</b> The applicant shall provide for the safe disposal of all wastewaters.	The plan notes that the facility shall have no water or sewer connections.
<b>N.</b>	<b>Fire safety.</b> The site plan shall make adequate provisions for access by fire-fighting equipment and personnel.	See the Fire Chief letter dated 1-07-2016. A Knox box is recommended to be installed. Prior to installation the developer shall contact the Fire Department regarding placement. No parking is to be permitted along Route One, Buzzell Road, Steeple Way or along the access drive serving abutting lot 3A. The nearest fire hydrant location is noted on the site plan.

**Standard Conditions of Approval**

1. Site Plan approval secured under the provisions of this chapter shall expire within 10 years from the date on which the site plan is signed if all aspects of the site plan approval are not fully completed and established. Any site plan approval may include a phasing plan according to an approved time schedule not to exceed 10 years from the date on which the site plan is signed. Site plan approval shall expire if a use has been established and then discontinued for two years or more. [§145-74F]
2. Approval is conditioned upon compliance by the applicant with the plans and specifications which have been received by the Town in connection with this development proposal.
3. Conditions of approval or notes written on the face of the site plan may be amended only by the reviewing authority that approved the site plan. [§145-74G(1)(b)]
4. Failure to comply with any conditions of approval shall be construed to be a violation of Article X of the Land Use Ordinance and shall be grounds for revoking the approved development plan, initiating legal proceedings to enjoin construction development or any specific activity violating the conditions of plan approval or applying the legal penalties detailed in §145-64. [§145-79A]



# Town of Wells, Maine

## Staff Review Committee

### FINDINGS OF FACTS & DECISIONS

#### Site Plan Application for "Verizon Public Utility Facility"

Page 10 of 11

5. Whenever sedimentation is caused by stripping vegetation, regrading or other development, it shall be the responsibility of the owner to immediately install sedimentation control devices on his lot and to remove sediment from all adjoining surfaces, drainage systems and watercourses and to repair any drainage, at his expense, as quickly as possible. Any landowner that fails to do so within two weeks after official written notification by the Code Enforcement Officer shall be penalized as set forth in §145-64. [§145-79B]
6. Erosion of soil and sedimentation of watercourses and water bodies shall be minimized by employing the following best-management practices [§145-75F]:
  - (a) Stripping of vegetation, soil removal and regrading or other development shall be accomplished in such a way as to minimize erosion.
  - (b) The duration of exposure of the disturbed area shall be kept to a practical minimum.
  - (c) Temporary vegetation and/or mulching shall be used to protect exposed critical areas during development.
  - (d) Permanent (final) vegetation and mechanical erosion control measures in accordance with the standards of the York County Soil and Water Conservation District or the Maine Soil and Water Conservation Commission shall be installed as soon as practicable after construction ends.
  - (e) Until a disturbed area is stabilized, sediment in runoff water shall be trapped by the use of debris basins, silt traps or other acceptable methods as determined by the reviewing authority.
  - (f) The top of a cut or the bottom of a fill section which alters the existing grade by more than two feet shall not be closer than 10 feet to an adjoining lot.
  - (g) During grading operations, methods of dust control shall be employed.
  - (h) The proposed site plan shall prevent soil erosion and sedimentation from entering waterbodies, wetlands, and adjacent properties.
  - (i) The procedures outlined in the erosion and sedimentation control plan shall be implemented during the site preparation, construction, and clean-up stages.
  - (j) Cutting or removal of vegetation along waterbodies shall not increase water temperature or result in shoreline erosion or sedimentation.
  - (k) Topsoil shall be considered part of the site plan and shall not be removed from the site except for surplus topsoil from roads, parking areas, and building excavations.
7. The property shown on this plan may be developed and used only as depicted on this approved plan. All elements and features of the plan and all representations made by the applicant in the record of the Planning Board and/or Staff Review Committee proceedings are conditions of the approval. No change from the conditions of approval is permitted unless an amended plan is first submitted to and approved by the Planning Board and/or Staff Review Committee.
8. Approval of the application or amendment application does not relieve the applicant from the responsibility to obtain building permits prior to construction and use permits prior to occupancy.
9. It is the applicant's responsibility to contact Dig Safe prior to construction.
10. It is the owner/Homeowners Association/applicant/developer's responsibility, not the Town Code Office or Town Planning Office, to contact the Town Clerk's Office to apply for and maintain any and all business license(s) for the use(s) conducted on this subdivision/site plan parcel(s).
11. Approval of any proposed field changes shall be obtained prior to construction. Said approvals shall be in writing. The Code Enforcement Office shall consult with the Office of Planning and Development prior to approving any field change.
12. Prior to the pouring of a building footing/foundation, the location of each cottage and/or building to be constructed shall be located on the face of the earth and shall be marked with surveyor pins or stakes. The developer shall receive approval of each cottage and/or building location from the Code Enforcement Office prior to the commencement of footing/foundation excavation.
13. If the property will be converted to a condominium form of ownership, the proposed condominium documents must be presented to the Town for review and approval by the Town Attorney. No use permit shall be issued until the Town Attorney has indicated approval of the condominium documents.
14. Upon completion of construction, the applicant shall provide to the Town record as-built drawings of the roadway, drainage, and utility related construction work.
15. The Town of Wells, Maine may employ the services of an engineering firm to assist in the inspection of roads and other infrastructure if, in the opinion of the Code Enforcement Office, the work necessary to insure compliance with Town ordinances or the requirements of this approval are beyond those capacities available by staff. The cost of such additional services will be born by the developer.
16. All components, features, improvements and conditions of site plan approval shall be fully completed prior to any issuance of a certificate of occupancy.



# Town of Wells, Maine

## Staff Review Committee

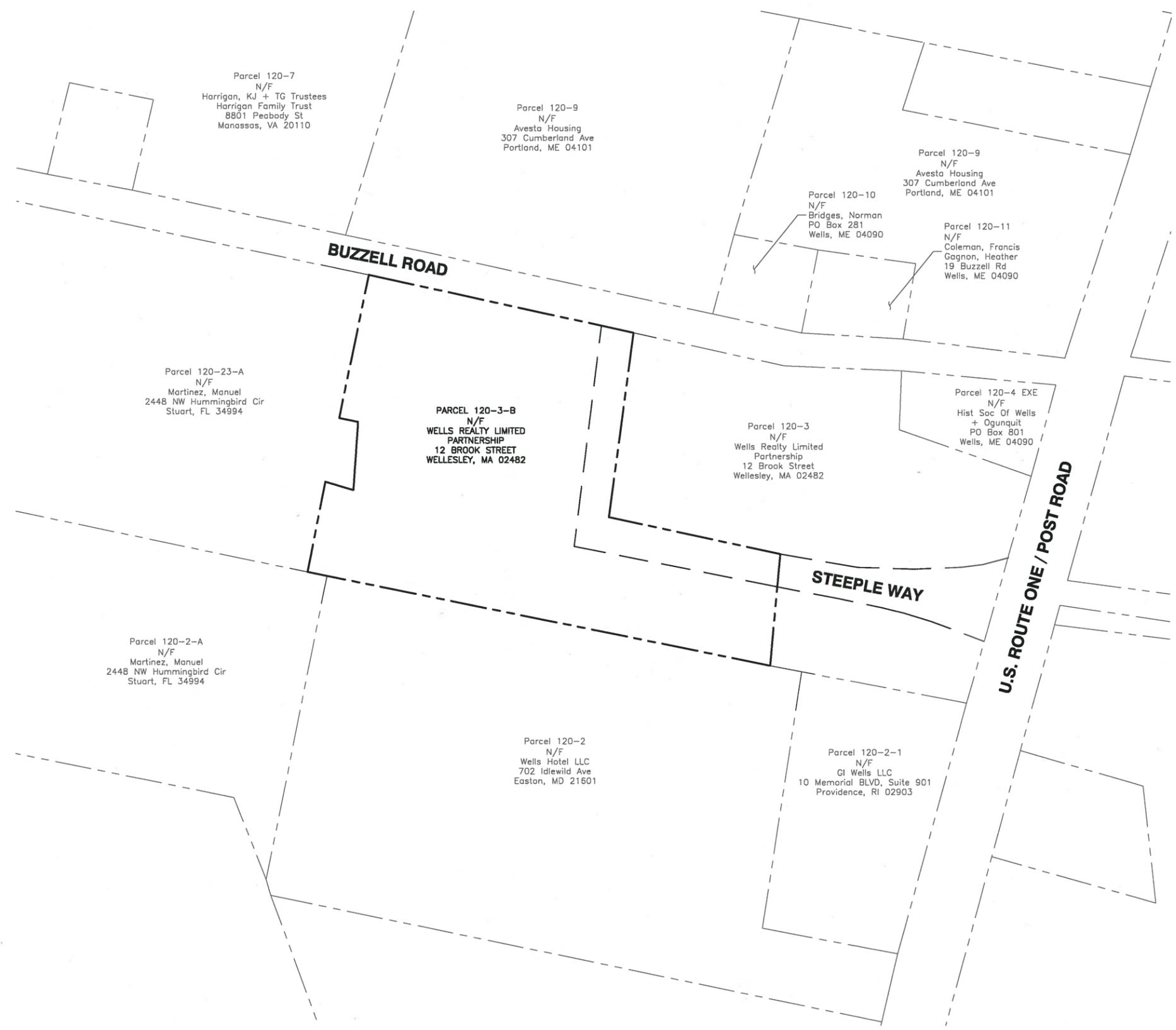
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**FINDINGS OF FACTS & DECISIONS**  
**Site Plan Application for "Verizon Public Utility Facility"**  
**Page 11 of 11**

Wells Staff Review Committee

By: \_\_\_\_\_





- NOTES:**
1. SOME EXISTING & PROPOSED INFORMATION NOT SHOWN FOR CLARITY.
  2. NORTH ARROW SHOWN AS APPROXIMATE.
  3. ABUTTERS MAP BASED ON TOWN OF WELLS ONLINE GIS MAPPING SYSTEM ON 09/30/2015.

**ABUTTERS PLAN** ①  
 SCALE: 1"=120' FOR 11"x17"  
 1"=60' FOR 22"x34"  
 0' 60' 120'



VERIZON WIRELESS  
 118 FLANDERS ROAD  
 WESTBOROUGH, MA 01581-3956

**WELLS, ME  
 HEAD END**

ZONING DRAWINGS		
4	01/07/16	FOR SUBMITTAL
3	01/05/16	FOR SUBMITTAL
2	12/08/15	FOR SUBMITTAL
1	11/17/15	FOR SUBMITTAL
0	10/09/15	FOR SUBMITTAL
A	10/08/15	FOR COMMENT



**Dewberry Engineers Inc.**  
 280 SUMMER STREET  
 10TH FLOOR  
 BOSTON, MA 02210  
 PHONE: 617.695.3400  
 FAX: 617.695.3310



DRAWN BY: SX  
 REVIEWED BY: MFT  
 CHECKED BY: BBR  
 PROJECT NUMBER: 50002925  
 JOB NUMBER: 50070907  
 SITE ADDRESS:

0 STEEPLE WAY  
 WELLS, ME 04090

SHEET TITLE

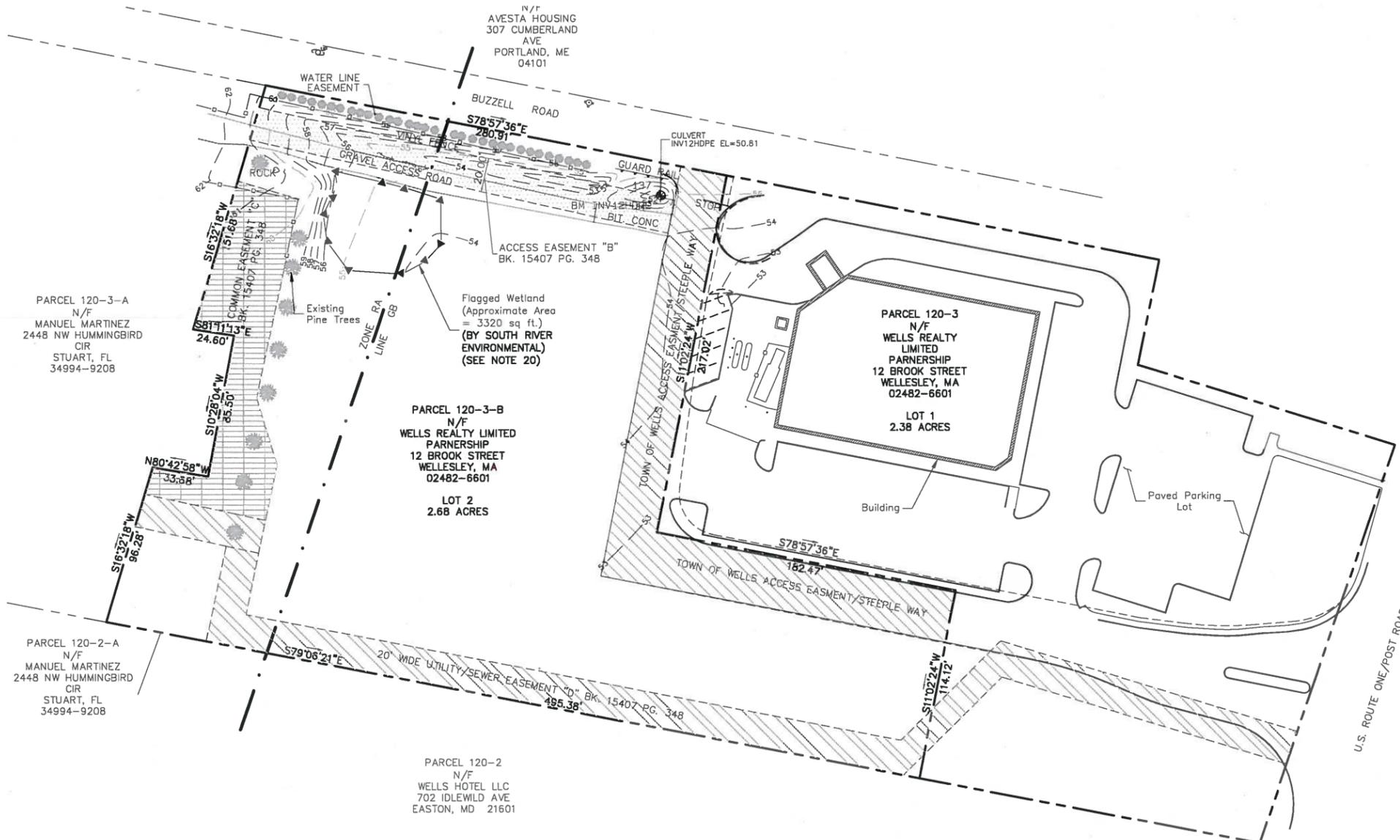
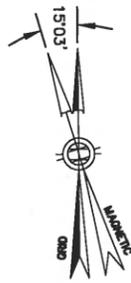
ABUTTERS PLAN

SHEET NUMBER

Z-1

**GENERAL NOTES**

1. FIELD SURVEY DATE: SEPTEMBER 10 & 30, 2015
2. VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988.
3. HORIZONTAL DATUM: NORTH AMERICAN DATUM OF 1983 (NAD83) GEOID 09.
4. PROPOSED BUILDING LOCATION:  
LAT.: 43° 18' 06.17"N  
LONG.: 70° 35' 19.04"W  
GROUND EL= 59'-6" NAVD 88
5. OWNER: WELLS REALTY LIMITED PARTNERSHIP  
12 BROOK STREET  
WELLESLEY, MA 02482-6601
6. SITE NAME: WELLS, ME HEAD END
7. SITE NUMBER: N/A
8. SITE ADDRESS: 0 STEEPLE WAY  
WELLS, ME 04090
9. ABUTTERS INFORMATION TAKEN FROM TOWN TAX DATA
10. JURISDICTION: TOWN OF WELLS, ME
11. TAX ID: MAP 120 LOT 3B
12. DEED REFERENCE: BK 15407 PG 348
13. PLAT REFERENCE: PLAN BOOK 328 PLAN 28
14. GRID NORTH BASED ON GPS
15. ELEVATIONS AND COORDINATES FROM GPS LOCATIONS.
16. ALL UNDERGROUND UTILITY INFORMATION PRESENTED HEREON WAS DETERMINED FROM SURFACE EVIDENCE AND PLANS OF RECORD. ALL UNDERGROUND UTILITIES SHOULD BE LOCATED IN THE FIELD PRIOR TO COMMENCEMENT OF ALL SITE WORK. CALL DIGSAFE 1(800) 322-4844 A MINIMUM OF 72 HOURS PRIOR TO PLANNED ACTIVITY.
17. ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY MAPS, THE PROPOSED TOWER ON THIS PROPERTY IS LOCATED IN AN AREA DESIGNATED AS ZONE X. NOT WITHIN THE 100 YEAR FLOOD BOUNDARY. COMMUNITY PANEL NO. 2301580021D, DATED 1/6/2003
18. PROPERTY LINE INFORMATION IS COMPILED FROM DEEDS AND PLANS OF RECORD AND IS NOT THE RESULT OF A FULL BOUNDARY SURVEY.
19. BEARING SYSTEM OF THIS PLAN IS BASED ON GRID NORTH.
20. WETLAND DELINEATION SURVEY WAS DONE ON SEPTEMBER 24, 2015 BY SOUTH RIVER ENVIRONMENTAL. THE WETLAND RESOURCE AREAS WERE DELINEATED ACCORDING TO THE STATE OF MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) RULES (CHAPTER 310-WETLANDS AND WATERBODIES PROTECTION).



**LEGEND**

	LOCUS PROPERTY LINE
	EXISTING PROPERTY LINE
	EXISTING UTILITY POLE & NUMBER
	EXISTING EASEMENT LINE
	EXISTING CONTOURS
	EXISTING FENCE LINE
	ZONING LINE
	WETLAND FLAGGING

**EXISTING CONDITIONS PLAN**

SCALE: 1"=80' FOR 11"x17"  
1"=40' FOR 22"x34"



1



VERIZON WIRELESS  
118 FLANDERS ROAD  
WESTBOROUGH, MA 01581-3956

**WELLS, ME  
HEAD END**

**ZONING DRAWINGS**

4	01/07/16	FOR SUBMITTAL
3	01/05/16	FOR SUBMITTAL
2	12/08/15	FOR SUBMITTAL
1	11/17/15	FOR SUBMITTAL
0	10/09/15	FOR SUBMITTAL
A	10/08/15	FOR COMMENT

**Dewberry**  
Dewberry Engineers Inc.  
280 SUMMER STREET  
10TH FLOOR  
BOSTON, MA 02210  
PHONE: 617.695.3400  
FAX: 617.695.3310



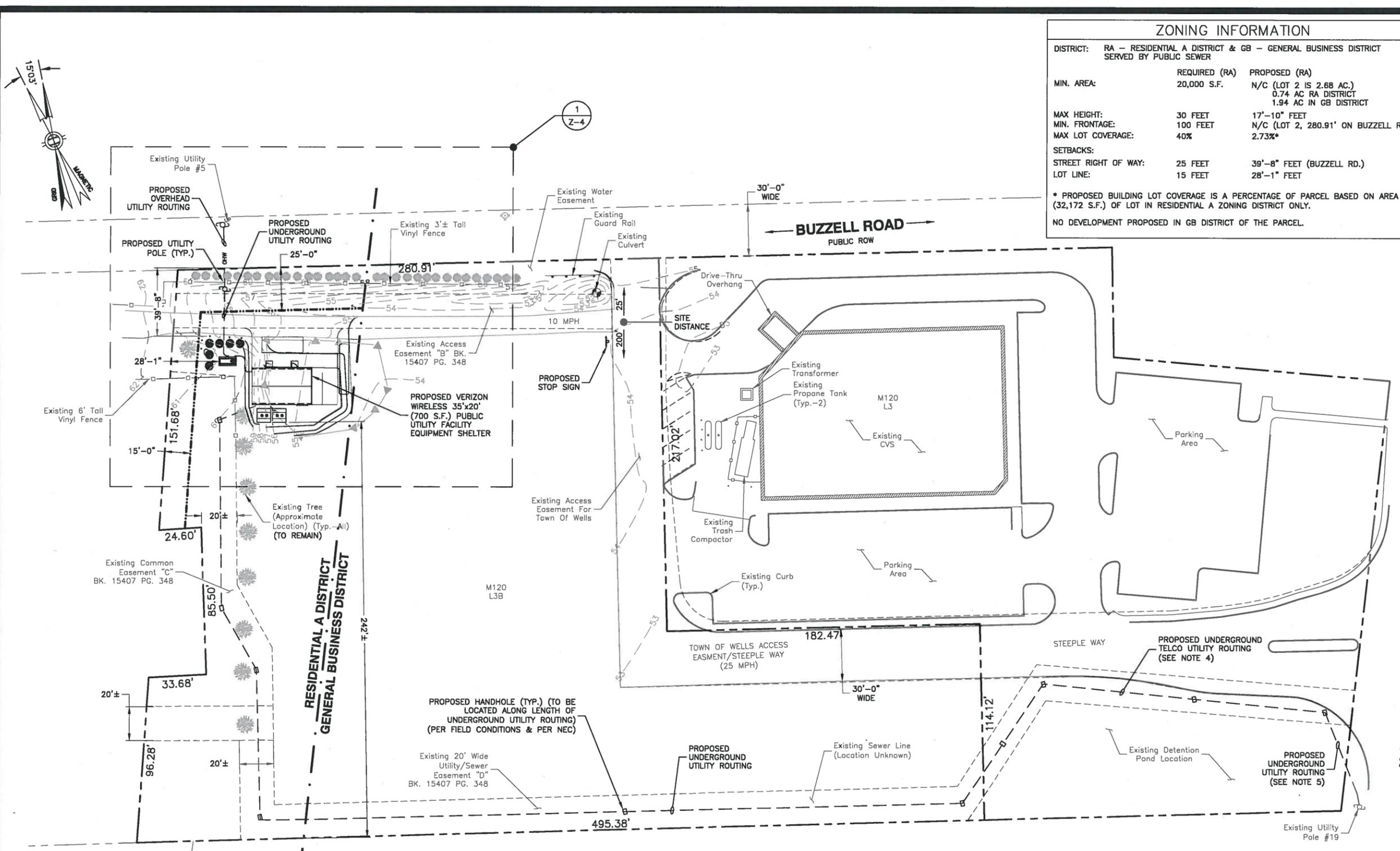
DRAWN BY:	SX
REVIEWED BY:	MFT
CHECKED BY:	BBR
PROJECT NUMBER:	50002925
JOB NUMBER:	50070907
SITE ADDRESS:	

0 STEEPLE WAY  
WELLS, ME 04090

SHEET TITLE

EXISTING CONDITIONS PLAN

SHEET NUMBER



ZONING INFORMATION		
DISTRICT:	RA - RESIDENTIAL A DISTRICT & GB - GENERAL BUSINESS DISTRICT SERVED BY PUBLIC SEWER	
MIN. AREA:	REQUIRED (RA) 20,000 S.F.	PROPOSED (RA) N/C (LOT 2 IS 2.68 AC.) 0.74 AC RA DISTRICT 1.94 AC IN GB DISTRICT
MAX HEIGHT:	30 FEET	17'-10" FEET
MIN. FRONTAGE:	100 FEET	N/C (LOT 2, 280.91' ON BUZZELL RD)
MAX LOT COVERAGE:	40%	2.73%*
SETBACKS:		
STREET RIGHT OF WAY:	25 FEET	39'-8" FEET (BUZZELL RD.)
LOT LINE:	15 FEET	28'-1" FEET
* PROPOSED BUILDING LOT COVERAGE IS A PERCENTAGE OF PARCEL BASED ON AREA (32,172 S.F.) OF LOT IN RESIDENTIAL A ZONING DISTRICT ONLY.		
NO DEVELOPMENT PROPOSED IN GB DISTRICT OF THE PARCEL.		



VERIZON WIRELESS  
118 FLANDERS ROAD  
WESTBOROUGH, MA 01581-3956

**WELLS, ME  
HEAD END**

ZONING DRAWINGS		
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3	01/05/16	FOR SUBMITTAL
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0	10/09/15	FOR SUBMITTAL
A	10/08/15	FOR COMMENT



Dewberry Engineers Inc.  
280 SUMMER STREET  
10TH FLOOR  
BOSTON, MA 02210  
PHONE: 617.695.3400  
FAX: 617.695.3310



DRAWN BY:	SK
REVIEWED BY:	MFT
CHECKED BY:	BBR
PROJECT NUMBER:	50002925
JOB NUMBER:	50070907
SITE ADDRESS:	

0 STEEPLE WAY  
WELLS, ME 04090

SHEET TITLE	PROPOSED CONDITIONS PLAN
SHEET NUMBER	

Z-3

- NOTES:**
- SOME EXISTING & PROPOSED INFORMATION NOT SHOWN FOR CLARITY.
  - NORTH ARROW SHOWN AS APPROXIMATE.
  - SITE PLAN & EXISTING FEATURES ARE BASED ON SITE VISIT BY DEWBERRY ENGINEERS INC. ON 02/10/15, FIELD SURVEY BY COLONIAL SURVEY ON 9/10/15 & 08/30/15 AND DRAWINGS BY SEBAGO TECHNICS PREPARED FOR WELLS REALTY LP DATED 01/29/08 & 04/16/08.
  - ROUTING OF UNDERGROUND UTILITIES NEAR DETENTION POND AREAS TO BE CONFIRMED WITH LL AND CM. FINAL ROUTING PENDING DESIGN AND FIELD CONFIRMATION. EXISTING DETENTION POND AND OTHER FEATURES WILL NOT BE DISTURBED.
  - NO PAVEMENT/CURB CUT FOR UNDERGROUND TELCO CONDUIT. VERIZON WIRELESS TO UTILIZE EXISTING EASEMENT AND/OR LEASE RIGHTS FOR FINAL CONDUIT ROUTING TO UTILITY POLE.

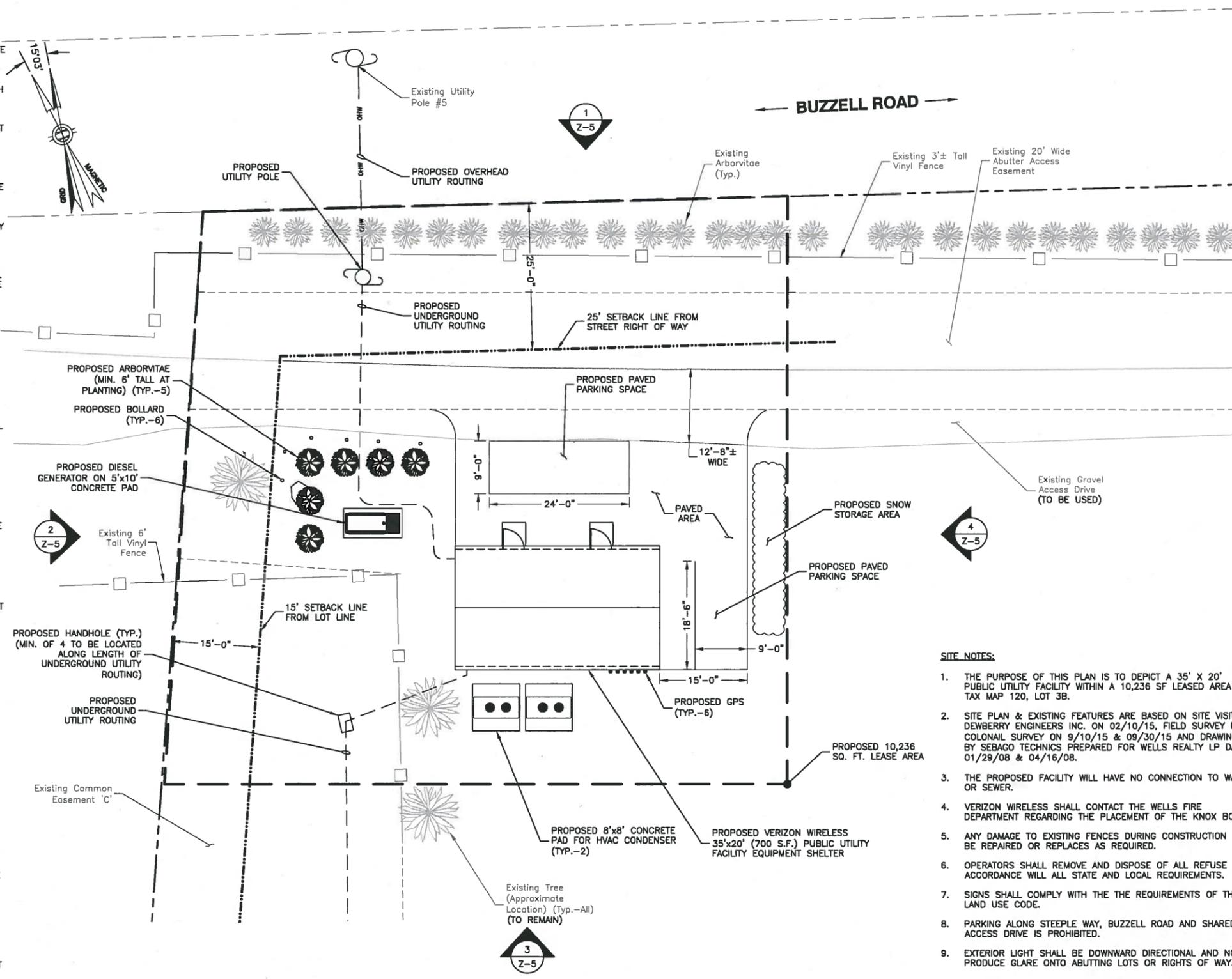
LEGEND	
	Existing Property Line
	Edge Of Pavement
	EXISTING FENCE LINE
	LOCUS PROPERTY
	UNDERGROUND UTILITY
	OVERHEAD UTILITY
	Existing Easement
	Zoning District Boundary
	Existing Building

**PROPOSED CONDITIONS PLAN** 1  
SCALE: 1"=60' FOR 11"x17"  
1"=30' FOR 22"x34"

<b>WELLS STAFF REVIEW COMMITTEE</b>	
APPROVED:	DATE:
_____	_____
_____	_____
_____	_____

**STANDARD CONDITIONS OF APPROVAL:**

- SITE PLAN APPROVAL SECURED UNDER THE PROVISIONS OF THIS CHAPTER SHALL EXPIRE WITHIN 10 YEARS FROM THE DATE ON WHICH THE SITE PLAN IS SIGNED IF ALL ASPECTS OF THE SITE PLAN APPROVAL ARE NOT FULLY COMPLETED AND ESTABLISHED. ANY SITE PLAN APPROVAL MAY INCLUDE A PHASING PLAN ACCORDING TO AN APPROVED TIME SCHEDULE NOT TO EXCEED 10 YEARS FROM THE DATE ON WHICH THE SITE PLAN IS SIGNED. SITE PLAN APPROVAL SHALL EXPIRE IF A USE HAS BEEN ESTABLISHED AND THEN DISCONTINUED FOR TWO YEARS OR MORE. [§145-74F]
- APPROVAL IS CONDITIONED UPON COMPLIANCE BY THE APPLICANT WITH THE PLANS AND SPECIFICATIONS WHICH HAVE BEEN RECEIVED BY THE TOWN IN CONNECTION WITH THIS DEVELOPMENT PROPOSAL.
- CONDITIONS OF APPROVAL OR NOTES WRITTEN ON THE FACE OF THE SITE PLAN MAY BE AMENDED ONLY BY THE REVIEWING AUTHORITY THAT APPROVED THE SITE PLAN. [§145-74G(1)(B)]
- FAILURE TO COMPLY WITH ANY CONDITIONS OF APPROVAL SHALL BE CONSTRUED TO BE A VIOLATION OF ARTICLE X OF THE LAND USE ORDINANCE AND SHALL BE GROUNDS FOR REVOKING THE APPROVED DEVELOPMENT PLAN, INITIATING LEGAL PROCEEDINGS TO ENJOIN CONSTRUCTION DEVELOPMENT OR ANY SPECIFIC ACTIVITY VIOLATING THE CONDITIONS OF PLAN APPROVAL OR APPLYING THE LEGAL PENALTIES DETAILED IN §145-64. [§145-79A]
- WHENEVER SEDIMENTATION IS CAUSED BY STRIPPING VEGETATION, REGRADING OR OTHER DEVELOPMENT, IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO IMMEDIATELY INSTALL SEDIMENTATION CONTROL DEVICES ON HIS LOT AND TO REMOVE SEDIMENT FROM ALL ADJOINING SURFACES, DRAINAGE SYSTEMS AND WATERCOURSES AND TO REPAIR ANY DRAINAGE, AT HIS EXPENSE, AS QUICKLY AS POSSIBLE. ANY LANDOWNER THAT FAILS TO DO SO WITHIN TWO WEEKS AFTER OFFICIAL WRITTEN NOTIFICATION BY THE CODE ENFORCEMENT OFFICER SHALL BE PENALIZED AS SET FORTH IN §145-64. [§145-79B]
- EROSION OF SOIL AND SEDIMENTATION OF WATERCOURSES AND WATER BODIES SHALL BE MINIMIZED BY EMPLOYING THE FOLLOWING BEST-MANAGEMENT PRACTICES [§145-75F]:
  - STRIPPING OF VEGETATION, SOIL REMOVAL AND REGRADING OR OTHER DEVELOPMENT SHALL BE ACCOMPLISHED IN SUCH A WAY AS TO MINIMIZE EROSION.
  - THE DURATION OF EXPOSURE OF THE DISTURBED AREA SHALL BE KEPT TO A PRACTICAL MINIMUM.
  - TEMPORARY VEGETATION AND/OR MULCHING SHALL BE USED TO PROTECT EXPOSED CRITICAL AREAS DURING DEVELOPMENT.
  - PERMANENT (FINAL) VEGETATION AND MECHANICAL EROSION CONTROL MEASURES IN ACCORDANCE WITH THE STANDARDS OF THE YORK COUNTY SOIL AND WATER CONSERVATION DISTRICT OR THE MAINE SOIL AND WATER CONSERVATION COMMISSION SHALL BE INSTALLED AS SOON AS PRACTICABLE AFTER CONSTRUCTION ENDS.
  - UNTIL A DISTURBED AREA IS STABILIZED, SEDIMENT IN RUNOFF WATER SHALL BE TRAPPED BY THE USE OF DEBRIS BASINS, SILT TRAPS OR OTHER ACCEPTABLE METHODS AS DETERMINED BY THE REVIEWING AUTHORITY.
  - THE TOP OF A CUT OR THE BOTTOM OF A FILL SECTION WHICH ALTERS THE EXISTING GRADE BY MORE THAN TWO FEET SHALL NOT BE CLOSER THAN 10 FEET TO AN ADJOINING LOT.
  - DURING GRADING OPERATIONS, METHODS OF DUST CONTROL SHALL BE EMPLOYED.
  - THE PROPOSED SITE PLAN SHALL PREVENT SOIL EROSION AND SEDIMENTATION FROM ENTERING WATERBODIES, WETLANDS, AND ADJACENT PROPERTIES.
  - THE PROCEDURES OUTLINED IN THE EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE IMPLEMENTED DURING THE SITE PREPARATION, CONSTRUCTION, AND CLEAN-UP STAGES.
  - CUTTING OR REMOVAL OF VEGETATION ALONG WATERBODIES SHALL NOT INCREASE WATER TEMPERATURE OR RESULT IN SHORELINE EROSION OR SEDIMENTATION.
  - TOPSOIL SHALL BE CONSIDERED PART OF THE SITE PLAN AND SHALL NOT BE REMOVED FROM THE SITE EXCEPT FOR SURPLUS TOPSOIL FROM ROADS, PARKING AREAS, AND BUILDING EXCAVATIONS.
- THE PROPERTY SHOWN ON THIS PLAN MAY BE DEVELOPED AND USED ONLY AS DEPICTED ON THIS APPROVED PLAN. ALL ELEMENTS AND FEATURES OF THE PLAN AND ALL REPRESENTATIONS MADE BY THE APPLICANT IN THE RECORD OF THE PLANNING BOARD AND/OR STAFF REVIEW COMMITTEE PROCEEDINGS ARE CONDITIONS OF THE APPROVAL. NO CHANGE FROM THE CONDITIONS OF APPROVAL IS PERMITTED UNLESS AN AMENDED PLAN IS FIRST SUBMITTED TO AND APPROVED BY THE PLANNING BOARD AND/OR STAFF REVIEW COMMITTEE.
- APPROVAL OF THE APPLICATION OR AMENDMENT APPLICATION DOES NOT RELIEVE THE APPLICANT FROM THE RESPONSIBILITY TO OBTAIN BUILDING PERMITS PRIOR TO CONSTRUCTION AND USE PERMITS PRIOR TO OCCUPANCY.
- IT IS THE APPLICANT'S RESPONSIBILITY TO CONTACT DIG SAFE PRIOR TO CONSTRUCTION.
- IT IS THE OWNER/HOMEOWNERS ASSOCIATION/APPLICANT/DEVELOPER'S RESPONSIBILITY, NOT THE TOWN CODE OFFICE OR TOWN PLANNING OFFICE, TO CONTACT THE TOWN CLERK'S OFFICE TO APPLY FOR AND MAINTAIN ANY AND ALL BUSINESS LICENSE(S) FOR THE USE(S) CONDUCTED ON THIS SUBDIVISION/SITE PLAN PARCEL(S).
- APPROVAL OF ANY PROPOSED FIELD CHANGES SHALL BE OBTAINED PRIOR TO CONSTRUCTION. SAID APPROVALS SHALL BE IN WRITING. THE CODE ENFORCEMENT OFFICE SHALL CONSULT WITH THE OFFICE OF PLANNING AND DEVELOPMENT PRIOR TO APPROVING ANY FIELD CHANGE.
- PRIOR TO THE POURING OF A BUILDING FOOTING/FOUNDATION, THE LOCATION OF EACH COTTAGE AND/OR BUILDING TO BE CONSTRUCTED SHALL BE LOCATED ON THE FACE OF THE EARTH AND SHALL BE MARKED WITH SURVEYOR PINS OR STAKES. THE DEVELOPER SHALL RECEIVE APPROVAL OF EACH COTTAGE AND/OR BUILDING LOCATION FROM THE CODE ENFORCEMENT OFFICE PRIOR TO THE COMMENCEMENT OF FOOTING/FOUNDATION EXCAVATION.
- IF THE PROPERTY WILL BE CONVERTED TO A CONDOMINIUM FORM OF OWNERSHIP, THE PROPOSED CONDOMINIUM DOCUMENTS MUST BE PRESENTED TO THE TOWN FOR REVIEW AND APPROVAL BY THE TOWN ATTORNEY. NO USE PERMIT SHALL BE ISSUED UNTIL THE TOWN ATTORNEY HAS INDICATED APPROVAL OF THE CONDOMINIUM DOCUMENTS.
- UPON COMPLETION OF CONSTRUCTION, THE APPLICANT SHALL PROVIDE TO THE TOWN RECORD AS-BUILT DRAWINGS OF THE ROADWAY, DRAINAGE, AND UTILITY RELATED CONSTRUCTION WORK.
- THE TOWN OF WELLS, MAINE MAY EMPLOY THE SERVICES OF AN ENGINEERING FIRM TO ASSIST IN THE INSPECTION OF ROADS AND OTHER INFRASTRUCTURE IF, IN THE OPINION OF THE CODE ENFORCEMENT OFFICE, THE WORK NECESSARY TO INSURE COMPLIANCE WITH TOWN ORDINANCES OR THE REQUIREMENTS OF THIS APPROVAL ARE BEYOND THOSE CAPACITIES AVAILABLE BY STAFF. THE COST OF SUCH ADDITIONAL SERVICES WILL BE BORN BY THE DEVELOPER.
- ALL COMPONENTS, FEATURES, IMPROVEMENTS AND CONDITIONS OF SITE PLAN APPROVAL SHALL BE FULLY COMPLETED PRIOR TO ANY ISSUANCE OF A CERTIFICATE OF OCCUPANCY.



**DETAILED SITE PLAN**  
 SCALE: 1"=20' FOR 11'x17"  
 1"=10' FOR 22'x34"  
 0' 10' 20'

- SITE NOTES:**
- THE PURPOSE OF THIS PLAN IS TO DEPICT A 35' X 20' PUBLIC UTILITY FACILITY WITHIN A 10,236 SF LEASED AREA OF TAX MAP 120, LOT 3B.
  - SITE PLAN & EXISTING FEATURES ARE BASED ON SITE VISIT BY DEWBERRY ENGINEERS INC. ON 02/10/15, FIELD SURVEY BY COLONIAL SURVEY ON 9/10/15 & 09/30/15 AND DRAWINGS BY SEBAGO TECHNIQS PREPARED FOR WELLS REALTY LP DATED 01/29/08 & 04/16/08.
  - THE PROPOSED FACILITY WILL HAVE NO CONNECTION TO WATER OR SEWER.
  - VERIZON WIRELESS SHALL CONTACT THE WELLS FIRE DEPARTMENT REGARDING THE PLACEMENT OF THE KNOX BOX.
  - ANY DAMAGE TO EXISTING FENCES DURING CONSTRUCTION WILL BE REPAIRED OR REPLACES AS REQUIRED.
  - OPERATORS SHALL REMOVE AND DISPOSE OF ALL REFUSE IN ACCORDANCE WILL ALL STATE AND LOCAL REQUIREMENTS.
  - SIGNS SHALL COMPLY WITH THE THE REQUIREMENTS OF THE LAND USE CODE.
  - PARKING ALONG STEEPLE WAY, BUZZELL ROAD AND SHARED ACCESS DRIVE IS PROHIBITED.
  - EXTERIOR LIGHT SHALL BE DOWNWARD DIRECTIONAL AND NOT PRODUCE GLARE ONTO ABUTTING LOTS OR RIGHTS OF WAY.

**WELLS STAFF REVIEW COMMITTEE**  
 APPROVED: \_\_\_\_\_ DATE: \_\_\_\_\_

**verizon**  
 WIRELESS  
 VERIZON WIRELESS  
 118 FLANDERS ROAD  
 WESTBOROUGH, MA 01581-3956

**WELLS, ME  
 HEAD END**

**ZONING DRAWINGS**

4	01/07/16	FOR SUBMITTAL
3	01/05/16	FOR SUBMITTAL
2	12/08/15	FOR SUBMITTAL
1	11/17/15	FOR SUBMITTAL
0	10/09/15	FOR SUBMITTAL
A	10/08/15	FOR COMMENT

**Dewberry**  
 Dewberry Engineers Inc.  
 280 SUMMER STREET  
 10TH FLOOR  
 BOSTON, MA 02210  
 PHONE: 617.695.3400  
 FAX: 617.695.3310



DRAWN BY: SK  
 REVIEWED BY: MFT  
 CHECKED BY: BBR  
 PROJECT NUMBER: 50002925  
 JOB NUMBER: 50070907  
 SITE ADDRESS: \_\_\_\_\_

0 STEEPLE WAY  
 WELLS, ME 04090

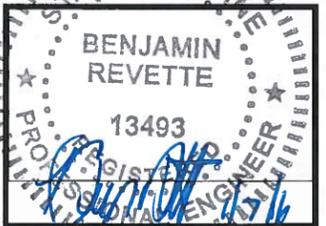
SHEET TITLE: \_\_\_\_\_  
 DETAILED SITE PLAN  
 SHEET NUMBER: \_\_\_\_\_

**WELLS, ME  
HEAD END**

ZONING DRAWINGS

4	01/07/16	FOR SUBMITTAL
3	01/05/16	FOR SUBMITTAL
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DRAWN BY: SK

REVIEWED BY: MFT

CHECKED BY: BBR

PROJECT NUMBER: 50002925

JOB NUMBER: 50070907

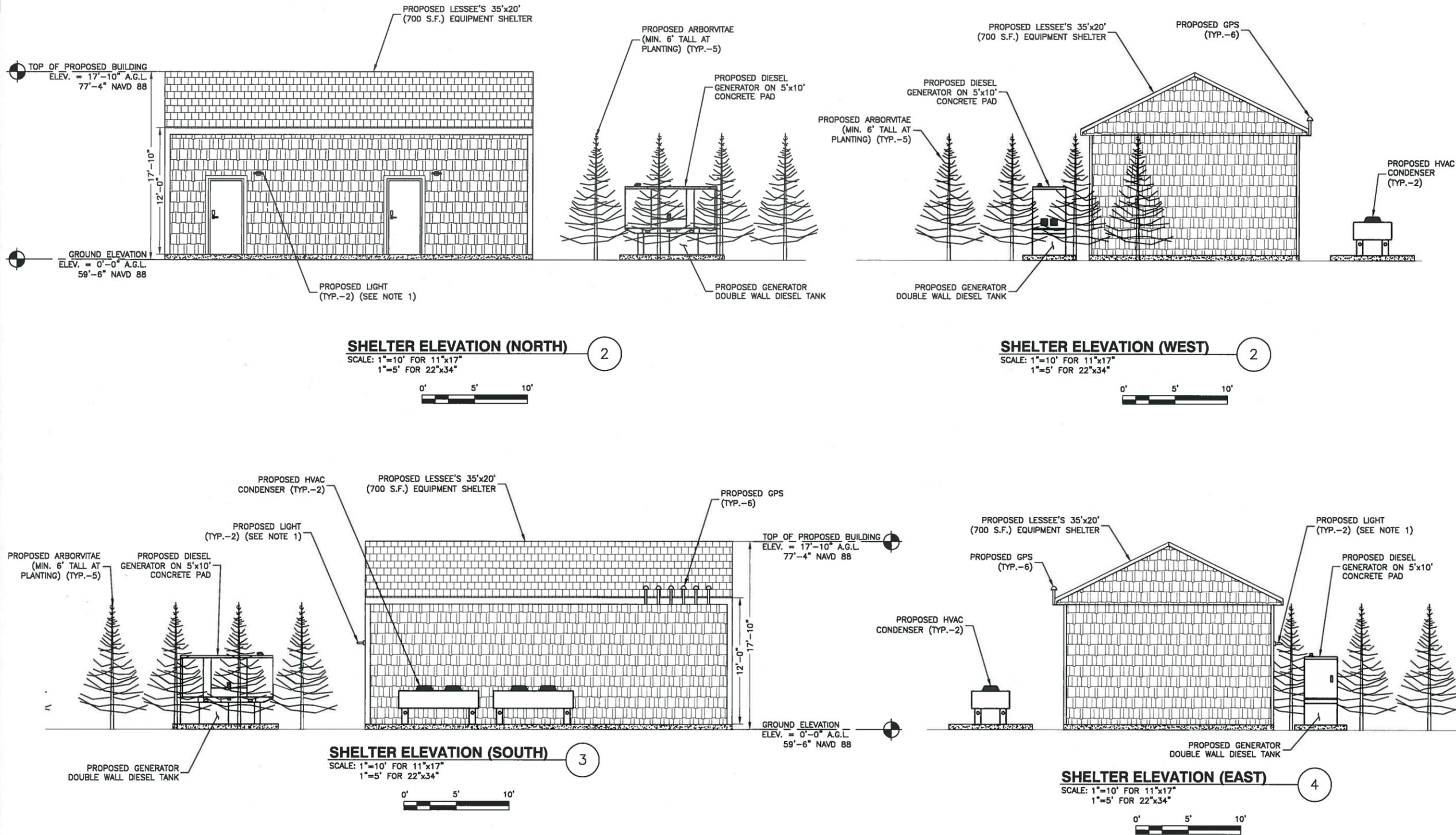
SITE ADDRESS:

0 STEEPLE WAY  
WELLS, ME 04090

SHEET TITLE

ELEVATIONS

SHEET NUMBER



NOTE:

1. EXTERIOR LIGHT SHALL BE DOWNWARD DIRECTIONAL AND NOT PRODUCE GLARE ONTO ADJUTING LOTS OR RIGHTS OF WAY.

# Wells Fire Department



1563B Post Road  
Wells, Maine 04090

Office (207) 646-7912

FAX (207) 645-0597

TDD (207) 646-7892

**Daniel M. Moore**

Fire Chief

January 7, 2016

Mike G. Livingston, PE  
Town Engineer/ Planner  
208 Sanford Road  
Wells, Maine 04090

Dear Mr. Livingston,

I have reviewed the site plan for the project known as Verizon Public Utility Facility - Wells ME Head End located off of Steeple Way in Wells, Maine. The application is described as the following:

Kelly Boden, Esq. of Verrill Dana LLP has submitted a site plan application on behalf of the applicant, Portland Cellular Partnership d/b/a Verizon Wireless on the property owned by Wells Realty Limited Partnership. The property is located off of Steeple Way and Buzzell Road and is identified at Tax Map 120, Lot 3B. The property is located within the General Business and Residential A District. The proposed development on the parcel is located within the Residential A zone. The proposed development consists of a 700 SF equipment shelter (public utility facility use) with generator and HVAC concrete pad areas. The parcel is 2.38 acres in size and is served by public water and public sewer. The parcel is currently undeveloped.

The Fire Department is in approval of the project in accordance with the latest set of plans submitted on 1/5/2016 with the following comments offered:

In accordance with Chapter Land Use 145-75 in the Town of Wells Code, the following items pertain.

H. *Explosive materials. No highly flammable or explosive liquids, solids or gases shall be stored in bulk above ground, unless they are stored in compliance with the requirements of the National Fire Protection Association (NFPA) standards.*

The plan does not depict any fuel storage except that a small tank associated with the generator will be needed. Explosive materials shall be stored in compliance with NFPA standards.

I. *Water quality. All aboveground outdoor storage facilities for fuel, chemicals, chemical or industrial wastes and potentially harmful raw materials shall be located on reinforced cement and shall be completely enclosed by an impervious*

*dike monolithically poured, which shall be high enough to contain the total volume of liquid kept within the storage area, plus the rain falling into this storage area during a fifty-year storm, so that such liquid shall not be able to spill onto or seep into the ground surrounding the paved storage area. Storage tanks for home heating fuel and diesel fuel, not exceeding 275 gallons in size, shall be exempted from this requirement.*

Water quality standards shall be met.

*L. Water supply. The applicant shall demonstrate the availability of adequate water supply for fire protection and the consumption needs of the proposed development.*

The parcel is served by the KKW Water District. The proposed Public Utility Facility shall not be connected to public water. The nearest fire hydrant is located on sheet Z-2 along Buzzell Road.

*N. Fire safety. The site plan shall make adequate provisions for access by fire-fighting equipment and personnel.*

A Knox box is recommended to be installed. Prior to installation the developer shall contact the Fire Department regarding placement. No parking is to be permitted along Route One, Buzzell Road, Steeple Way or along the access drive serving abutting lot 3A. The nearest fire hydrant location is noted on the site plan.

If you have any questions, please contact me.

Sincerely,

A handwritten signature in black ink, appearing to read "Daniel Moore", with a horizontal line extending to the right.

Daniel Moore  
Fire Chief



**Planning & Development**  
**208 Sanford Road, Wells, Maine 04090**

Phone: (207) 646-5187, Fax: (207) 646-2935

Website: [www.wellstown.org](http://www.wellstown.org)

<i>Michael G. Livingston, Town Engineer/Planner</i>	<a href="mailto:mlivingston@wellstown.org">mlivingston@wellstown.org</a>
<i>Shannon M. L. Belanger, Planning Assistant</i>	<a href="mailto:sbelanger@wellstown.org">sbelanger@wellstown.org</a>

**Site Plan Amendment Application Memo**

Date: January 7, 2016

To: Staff Review Committee

From: Planning Office

Re: KKW Water District Public Utility Facility Amendment– Map 150, Lot 13

**Project Description:**

KK&W Water District has submitted a site plan amendment application for the existing 16' x 20' pumping and treatment facility which is considered a Public Facility use within the Rural District. The amendment proposes to install a 30' tall pole adjacent to the existing facility to collect water meter reading data. The facility is located on a 3.67 acre parcel of land. This parcel has two existing single family dwelling units and accessory garages and sheds. The property is served by public sewer and water but the dwelling off of 71 Bypass Road is served by a private septic system. The public utility facility proposed will have no such service connections (i.e. no bathroom) except for water connection for operations. The parcel is located off of Bypass Road and is identified as Tax Map 150, Lot 13. The public utility facility has its own access off of Bypass Road with a paved driveway with paved parking.

**§ 145-74. Review and approval process.**

**C. Staff Review Committee process. The SRC to consider receiving the amendment application on 1/12/16**

- (1) The membership of the Staff Review Committee shall include the Road Commissioner, the Fire Chief, the Police Chief, the Code Enforcement Officer, Town Engineer (if any) and Director of Planning and Development or their designees. The Director of Planning and Development is the Chair of the Committee and shall designate the Vice Chair.
- (2) If there are site plan approval applications to review, the Staff Review Committee shall meet at least two times a month. The meeting schedule shall be established by the Director of Planning and Development by the first day of December for the following calendar year. The agenda for each Staff Review Committee meeting shall be posted in the Town Hall at least seven days prior to the meeting. Scheduled meetings may be rescheduled if the Committee members or their designees are unable to attend to a time agreed to by all applicants on the agenda for the meeting.
- (3) An applicant shall be notified of any Staff Committee meetings at which the applicant's plan will be reviewed and shall have the right to attend any Staff Review Committee meetings at which the plan may be reviewed.
- (4) A new application, revised application or proposed amendment to an approved plan shall be submitted to the Office of Planning and Development at least 10 days prior to the meeting at

which it will be considered. The application shall be accompanied by a site plan and the required fee. **Application submitted 12/29/15, SRC to receive on 1/12/16**

- (5) Upon the receipt of an application for site plan approval along with certification that the abutters have been sent or delivered notices of the site plan approval application by the applicant, the Code Enforcement Officer shall review the application and the site plan to determine if the proposed use meets the requirements of Articles V, VI and VII. **Abutters notified on 1/5/16**
    - (a) If the application does or does not meet the requirements of Articles V, VI and VII, the Code Enforcement Officer shall notify the applicant in writing.
    - (b) If the application does meet the requirements of Articles V, VI and VII, the Director of Planning and Development shall place the application on the next meeting agenda of the Staff Review Committee and shall provide the Planning Board with a brief description of the application at its next meeting. At the meeting the Staff Review Committee shall determine if the application is complete. If it is not complete the applicant shall be notified in writing of the information needed to complete the application. **To be determined**
  - (6) Upon determining that the application is complete, the Committee shall review the site plan and either approve the application and sign the site plan, approve the application with conditions and sign the site plan or deny the application. **To be determined**
  - (7) The Staff Review Committee may only approve an application by a unanimous vote, and its decision shall be based on the criteria found in § 145-75, and it shall inform the applicant in writing within seven days of its decision stating its reasons. The Committee shall prepare detailed, written findings of fact, based on the evidence presented, and its conclusions and basis thereof. **To be determined**
  - (8) The Staff Review Committee shall take action on a complete application within 35 days of its receipt by the Staff Review Committee or within a period of time mutually agreed to by the applicant and the Staff Review Committee. Failure to take action within 35 days or within the mutually agreed to time period shall constitute an automatic denial of the plan. **To be determined**
- E. Upon the receipt of a plan signed by the review authority, the Code Enforcement Officer may issue a building permit and/or use permit as long as the plan is in compliance with all local regulations, except this article.
- F. Expiration.
- (1) Site plan approval secured under the provisions of this chapter shall expire within two years of the date on which the site plan is signed if: **To be determined**
    - (a) A building permit is not obtained for new building construction included as part of an approved site plan. The site plan approval shall be valid for up to 10 years as long as a valid building permit exists for the proposed construction.
    - (b) A use permit is not obtained and the use requested is not established on a site that does not include any new construction.
  - (2) Any approval may include a phasing plan which would allow the issuance of building permits for a multi-building project to be phased according to a proposed time schedule. After two years from the date of approval, no building permit shall be issued for any phase if it does not comply with the requirements of this chapter in effect at the time when the building permit application is filed.

#### **Recommendations and conclusions:**

1. The Staff Review Committee should consider receiving the site plan amendment application.
2. The Staff Review Committee should review and workshop the following Article V, VI, VII and completeness review comments:
  - a. Note 1 to state the existing Public Utility Facility use and state the pole proposed is accessory to the Public Utility Facility and shall be for the sole use of this facility.

- b. The plan to depict the existing tree line around the existing facility
  - c. The SRC to determine if a shade tree or other planting is necessary for a landscaped buffer along Bypass Road
  - d. The SRC to determine if the existing 1 parking space remains sufficient for the pole addition proposed
  - e. The standard conditions of approval notes to be updated
  - f. The SRC to consider granting/ re-affirming the plan scale waiver as 1"= 50 feet is the plans scale
  - g. The applicant is recommended to obtain a letter from an independent licensed land surveyor stating that the public utility facility constructed in 2012 meets the setback requirements. In lieu of a letter, the applicant may instead provide an as-built of the area prepared by a licensed land surveyor.
  - h. SRC to determine that parcel contours are not required to be depicted on the plan.
  - i. A letter from CMP appears to be necessary granting permission to KKWWD to install the proposed pole. Applicant to confirm.
  - j. Has Edgar Moore, the property owner been contacted by KKWWD regarding the proposal?
3. The SRC to consider continuing the workshop to the next meeting.

**Town of Wells , Maine**  
**Article X , 145-77 Data Requirements (Completeness Review)**  
**Page 1 of 5**

Project Name/District: KKW Water District Merriland River Pumping and Treatment Facility Amendment / Rural District - Tax Map 150, Lot 13 Date of Review: 01/07/16

Prepared By: Office of Planning & Development Company Name: Town Of Wells

**Article X**  
**Site Plan Approval**

§ 145-77. Data Requirements [Amended 4-26-1996]		Application Meet Requirements				
		Yes	No	NA	Waiver	Comments
Any application presented for approval shall include the following information if applicable:						
A.	A site plan drawn at a scale not smaller than one inch equals 40 feet which shall contain the following information:				W*	Waiver granted on 4/24/12 of the 1" = 50' plan scale. <b><u>The SRC to consider re-affirming this waiver on 1/12/16.</u></b>
(1)	The name and address of the applicant plus the name of the proposed development.	Y				The plan states the land is located on Bypass Road. The name of the development is noted.
(2)	Total floor area, ground coverage and location of each proposed building, structure or addition.	Y				Note #2 details the existing and proposed coverage which includes structural coverage and non-vegetated areas. Coverage proposed to remain at 11%.
(3)	Perimeter survey of the parcel, made and certified by a registered land surveyor licensed in Maine, relating to reference points, showing true or magnetic North, graphic scale, corners of parcel, date of survey and total acreage. The requirement for a certified boundary survey may be waived by the reviewing authority if the proposed construction is located a distance equal to the required setback plus 10 feet from any lot line.		N			The plan for which the facility was originally approved was laid out on a plan prepared by John Bruckler, Land Surveyor on 11/04/2008.  The building was constructed in 2012 per the 2012 approval. <b><u>The building was not pinned by a surveyor prior to construction. The Planning Office recommends an as-built survey of the building location to confirm setbacks have been met as the building was to be constructed at the 25' lot line setback from Bypass Road or the 25' lot line setback from the easterly lot line.</u></b>
(4)	All existing and proposed setback dimensions.	Y				See zoning dimensional table on the plan.
(5)	The size, location, direction and intensity of illumination of all major outdoor lighting apparatus and signs.	Y				Notes on the plan indicate the facility shall have no signage, or lighted signage. One exterior mounted building light will be located on the proposed building but shall be shielded from producing glare onto abutting lots and roads.

**Town of Wells , Maine**  
**Article X , 145-77 Data Requirements (Completeness Review)**  
**Page 2 of 5**

Project Name/District: KKW Water District Merriland River Pumping and Treatment Facility Amendment / Rural District - Tax Map 150, Lot 13

Prepared By: Office of Planning & Development

Date of Review: 01/07/16

Company Name: Town Of Wells

§ 145-77. Data Requirements [Amended 4-26-1996]		Application Meet Requirements				
		Yes	No	NA	Waiver	Comments
(6)	The type, size and location of all incineration devices.			NA		No such devised identified on the parcel.
(7)	The type, size and location of all machinery likely to generate appreciable noise at the lot lines.			NA		No such machinery identified on the parcel or near lot lines. The facility does not have a generator installed on site.
(8)	The location, type and size of all existing and proposed catch basins, storm drainage facilities, wetlands, streams and watercourses and all utilities, both above and below ground.	Y				Existing above ground utility poles are identified on the plan. The underground water main lines are identified on the plan. Sewer lines are not noted. No changes to water or sewer service connections proposed.
(9)	All existing contours and proposed finished grade elevations of the portions of the site which will be altered and the system of drainage proposed to be constructed. Contour intervals shall be specified by the reviewing authority. This requirement may be waived by the reviewing authority if no additional lot coverage is proposed or the proposed lot coverage is less than 30% and has an area of less than 15,000 square feet.			NA		Waiver granted on 4/24/12 for existing and proposed contours. No changes to contours proposed. <b><u>SRC to find that contours are not required to be depicted.</u></b>
(10)	The location, type and size of all curbs, sidewalks, driveways, fences, retaining walls and parking space areas and the layouts thereof, together with the dimensions.	Y				Existing and proposed driveways are identified. The proposed parking space is detailed on the plan. The plan does not identify fences or retaining walls that exist. None are proposed.
(11)	All landscaped areas, fencing and size and type of plant material upon the premises.	Y*				<b><u>The plan to identify the existing vegetation surrounding the proposed facility. SRC to determine if the proposed pole requires any additional landscape buffering along Bypass Road.</u></b>

**Town of Wells , Maine**  
**Article X , 145-77 Data Requirements (Completeness Review)**  
**Page 3 of 5**

Project Name/District: KKW Water District Merriland River Pumping and Treatment Facility Amendment / Rural District - Tax Map 150, Lot 13 Date of Review: 01/07/16

Prepared By: Office of Planning & Development Company Name: Town Of Wells

§ 145-77. Data Requirements [Amended 4-26-1996]		Application Meet Requirements				
		Yes	No	NA	Waiver	Comments
(12)	All existing or proposed rights-of-way, easements and other legal restrictions which may affect the premises in question.	Y*				CMP approval letter dated 4-6-12 for 16' x20' treatment facility and 12' x 55' driveway. Use Agreement with CMP and KKWWD dated 5-30-2012 provided. <b><u>A letter from CMP giving written permission to install the pole appears to be necessary per the User Agreement.</u></b>  Easement Deed from Edgar Moore to KKWWD recorded at YCRD 5/31/2012 Book 16334 Page 495-496. <b><u>Has the Water District contacted Mr. Moore regarding the pole addition?</u></b>
(13)	The locations, names and widths of all existing and proposed streets abutting the premises.	Y				
(14)	The lot lines of all lots abutting the proposed development, including those lots across the street, together with the names on file in the Town offices as of the date of the application.	Y				
(15)	An appropriate place for the signature(s) of the reviewing authority.	Y				
B.	Documentation of right, title or interest in the proposed site.	Y				Bk 16147, Pg 917-918 deed provided.  Bk 16334, Pg. 495-496 Easement Deed provided.  CMP User Agreement 5-30-2012 provided.
C.	An on-site soils investigation report by a Maine Department of Human Services licensed site evaluator (unless the site is to be served by public sewer). The report shall identify the types of soil, location of test pits and proposed location and design for the subsurface disposal system.			NA		The proposed facility shall not be connected to public sewer (see note #4. The location of the existing septic system for the dwelling at 71 Bypass Rd is identified on the plan.
D.	The amount and type of any raw, finished or waste materials to be stored outside of roofed buildings, including their physical and chemical properties, if appropriate.			NA		No such storage is identified on the parcel. Such areas must be identified if applicable.

**Town of Wells , Maine**  
**Article X , 145-77 Data Requirements (Completeness Review)**  
**Page 4 of 5**

Project Name/District: KKW Water District Merriland River Pumping and Treatment Facility Amendment / Rural District - Tax Map 150, Lot 13 Date of Review: 01/07/16

Prepared By: Office of Planning & Development Company Name: Town Of Wells

§ 145-77. Data Requirements [Amended 4-26-1996]		Application Meet Requirements				
		Yes	No	NA	Waiver	Comments
E.	If the proposed use will be connected to the Wells Sanitary District's sewer system, a letter from the Sanitary District stating that adequate line and plant capacity to dispose of the generated sewage will be available.			NA		The proposed facility shall not be connected to public sewer (see note #4). The dwelling at 95 Bypass Road is served by public sewer.
F.	If the proposed use will be connected to the Kennebunk, Kennebunkport and Wells Water District water system, a letter from the Water District stating that adequate line and supply capacity to serve the proposed use will be available.			NA		The proposed facility will be connected to public water but solely for water utility operations (see note #4). No sanitary facilities are provided. The existing dwellings are served by public water.
G.	Traffic data. Only the Planning Board may require that a site plan application include a traffic engineering study should the project be considered one of substantial magnitude along any of the Town's state highways where fast-moving traffic occurs (i.e., Route Nos. 1, 109, 9, 9-A and 9-B). Should a traffic study be requested by the Planning Board, the following data shall be included:			NA		The Staff Review Committee cannot require traffic data.
	(1) The estimated peak-hour traffic to be generated by the proposal.					
	(2) Existing traffic counts and volumes on surrounding roads.					
	(3) Traffic accident data covering a recent three-year period.					
	(4) The capacity of surrounding roads, municipal facilities, parking and any improvements which may be necessary on such roads and facilities to accommodate anticipated traffic generation.					
	(5) The need for traffic signals and signs or other directional markers to regulate anticipated traffic.					
H.	A soil erosion and sedimentation control plan, prepared in accordance with the Maine Erosion and Sedimentation Control Handbook for Construction: Best Management Practices, published by the Maine Department of Environmental Protection and the Cumberland County Soil and Water Conservation District, 1991. [Amended 4-27-2007]				w	<b>Standard conditions of approval to be updated.</b>  A waiver was previously granted by the SRC of a soil erosion and sedimentation control plan for this property on 4/24/12. See note 7. No changes are proposed that will have an impact or soil erosion or sedimentation.

**Town of Wells , Maine**  
**Article X , 145-77 Data Requirements (Completeness Review)**  
**Page 5 of 5**

Project Name/District: KKW Water District Merriland River Pumping and Treatment Facility Amendment / Rural District - Tax Map 150, Lot 13 Date of Review: 01/07/16

Prepared By: Office of Planning & Development Company Name: Town Of Wells

§ 145-77. Data Requirements [Amended 4-26-1996]		Application Meet Requirements				
		Yes	No	NA	Waiver	Comments
I.	A stormwater management plan, prepared by a registered professional engineer in accordance with the most recent edition of Stormwater Management For Maine: BMPS Technical Design Manual, published by the Maine Department of Environmental Protection, 2006. Another methodology may be used if the applicant can demonstrate it is equally or more applicable to the site. A drainage analysis may be waived by the Planning Board upon request of the applicant and submittal of a letter from a registered professional engineer stating that there will be no adverse impacts to adjacent or downstream properties. <b>[Added 4-27-2007]</b>			<b>NA</b>		The installation of the 30' tall pole adjacent to the existing public utility facility shall have no impact on stormwater runoff.
J.	Any other information or data the reviewing authority determines is necessary to demonstrate compliance with the standards of § 145-75. <b>[Added 4-27-2007]</b>					



**TOWN OF WELLS**  
**208 Sanford Road, Wells, Maine 04090**  
Phone: (207) 646-5187, Fax: (207) 646-2935  
Website: [www.wellstown.org](http://www.wellstown.org)

New \_\_\_\_\_  
Amendment   
(follow 145-74A)

For office use only  
Fees Paid \_\_\_\_\_

*Received 12-29-15*

**SITE PLAN APPLICATION – §145-74B/C/D/G**

1. Project/Business Name: Merriland River Treatment Facility Data Collection Pole
2. Street Address (of project): 95 Bypass Road
3. Assessor's Tax Map Number(s): 150 Lot Number(s): 13
4. Property Owner: Edgar Moore  
Mailing Address: 83 Bypass Road, Wells, Maine 04090  
Telephone: 207-251-3343 Fax: N/A  
Email Address: Unknown
5. Applicant (if different from owner): Kennebunk, Kennebunkport & Wells Water District  
Mailing Address: PO Box 88, 92 Main Street  
Kennebunk, Maine 04043  
Telephone: 207-985-3385 Fax: 207-985-3102  
Email Address: sminor@kkw.org
6. Agent (Engineer, Surveyor, etc): N/A  
Mailing Address: \_\_\_\_\_  
Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email Address: \_\_\_\_\_
7. All correspondence should be sent to:  
(specify one of the above) Applicant
8. Zoning District(s): R
9. Shoreland Overlay District(s): N/A

10. Land Use(s): Existing : Public Water Utility Groundwater Treatment Facility

Proposed: Same as above with 30' pole for data collection/transmission

11. What legal interest does applicant have in the property?

Ownership  Option  Purchase & Sales Contract  Other Easement  
*Documentation of right, title or interest must accompany the application*

12. Is any part of parcel within 250 feet of high water mark of a pond, stream, or tidal water body?  
Yes  No

13. Is any part of parcel within a special flood hazard area as identified by FEMA? Yes  No

14. Does the parcel include any water bodies? Yes  No

15. Acreage of parcel: 3.473 Acreage to be Developed: N/A

16. EXISTING a) Total Gross Floor Area of All Structures: Est. 6,500sf b) Total Lot Coverage: ~4.3%

c) Total Square Footage of area considered covered ("not green and growing"): Est. 16,800sf (11%)  
*(This includes structures, overhangs, paved or gravel surfaces, etc.)*

17. PROPOSED a) Total Gross Floor Area of All Structure : Same b) Total Lot Coverage: Same

c) Total Square Footage of area considered covered ("not green and growing"): Same  
*(This includes structures, overhangs, paved or gravel surfaces, etc.)*

18. Number of Existing Parking Spaces: Est. 4 Total Number of Parking Spaces as proposed: Same

19. Estimated Traffic Generation at peak hour: Existing Est. 2 trips As proposed : Same  
*One trip is one vehicle entering OR one vehicle exiting. Therefore, one car driving in and then leaving an establishment equals 2 'trips'. Trucks are equivalent to two cars, therefore, one truck entering and then leaving an establishment equals 4 'trips'. It is the responsibility of the applicant to seek a Traffic Movement Permit from Maine DOT if one is necessary (over 100 trips per peak hour).*

20. Description of proposal: Install a 30' tall aluminum monopole with 6" shaft diameter immediately adjacent to the existing Merriland Treatment Facility Building. The proposed pole is model number RSA-30-60 manufactured by the Spaulding Lighting of Greenville, South Carolina. The pole will be mounted on an engineered 18" diameter by 5' tall precast concrete base manufactured by the George Roberts Company of Alfred, Maine. The pole will be used to mount a data collector to collect and transmit water meter reading data as part of the network communications for the Water District's new Mueller Advanced Metering Infrastructure System (AMI).

**CERTIFICATION. To the best of my knowledge, all information submitted with this site plan application is true and correct.**

  
Signature of Applicant

12/29/2015  
Date

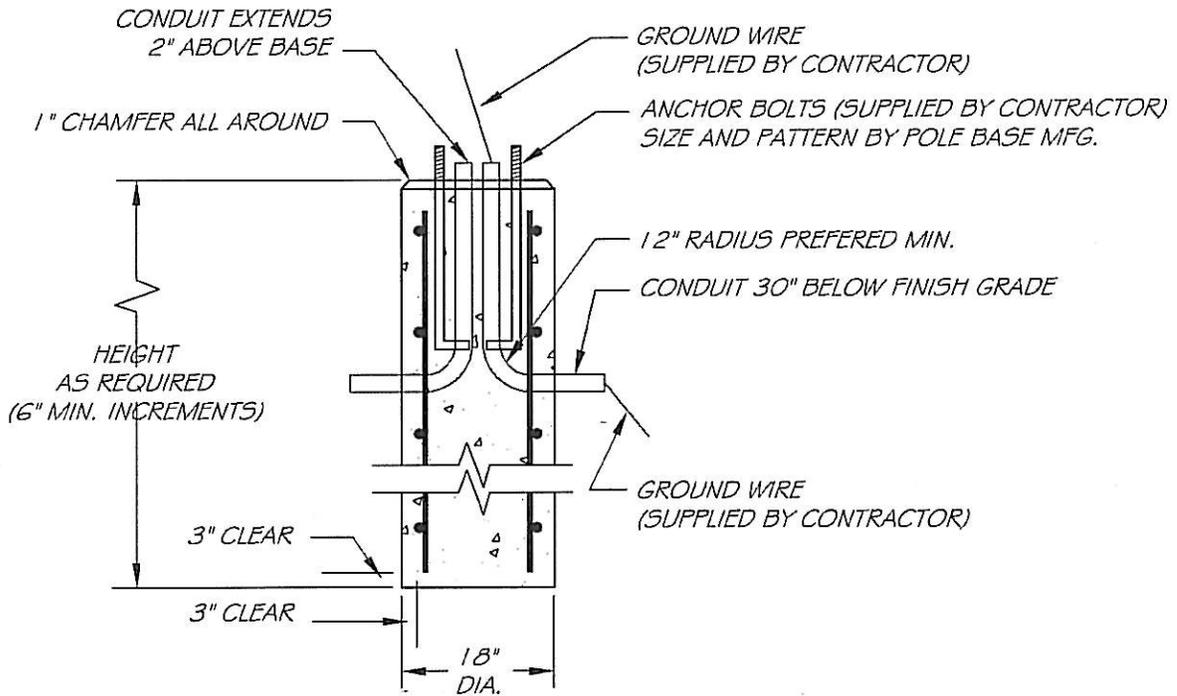
# George R. Roberts Co.

## Precast Concrete Products

192 Biddeford Rd.  
 Alfred, Maine 04002  
 (207)-324-6571  
 (207)-324-8533

## 18" DIAMETER LIGHT POLE BASE

CONTRACTOR:	DATE:
ENGINEER:	SCALE: N.T.S.
JOB: (#)	

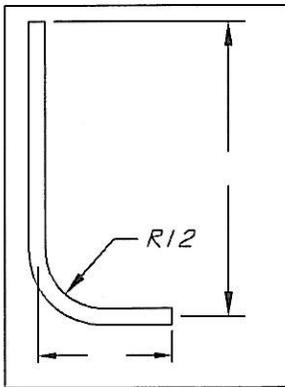


SECTION VIEW

CONDUIT ORIENTATION AND QTY.  
 VARIES PER POLE (CONDUIT SUPPLIED  
 BY CONTRACTOR)  
 PLEASE ADVISE ON ORIENTATION



PLAN VIEW



CONDUIT SWEEP DIMENSIONS  
 PLEASE PROVIDE

QTY.	HEIGHT	DIA.
		18"

NOTES:

- 1) CONCRETE: 5,000 PSI @ 28 DAYS.
- 2) CEMENT: TYPE III PER ASTM C150-81.

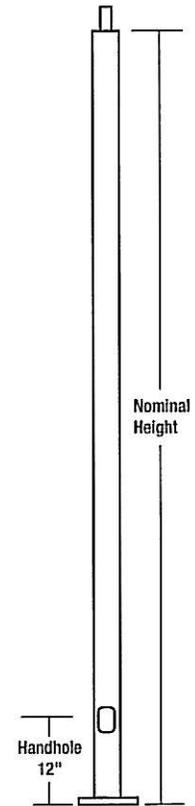
<b>RSA SERIES POLES</b> ROUND STRAIGHT ALUMINUM	Cat.#		
	Job	Type	

**APPLICATIONS**

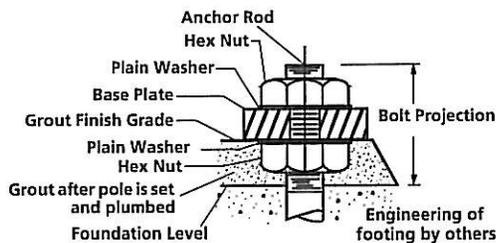
- Lighting installations for side and top mounting of luminaires with effective projected area (EPA) not exceeding maximum allowable loading of the specified pole in its installed geographic location.

**FEATURES**

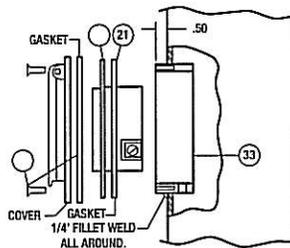
- Round straight aluminum shaft
- One-piece construction
- BASE COVER: Two-piece square aluminum base cover included standard.
- POLE CAP: Pole shaft covered with removable non-metallic cover when applicable. Tenon and post-top configurations also available.
- Side, tenon, or pad mounting available (Group 1: OT and TA selections only)
- Ground provision standard
- Galvanized anchor bolts and template included (4-bolt design) (Group 1: non-galvanized anchor bolts)
- Gasketed hand hole cover standard (3" x 5") (Group 2 only)
- Optional round base cover (Group 2 only)
- ANCHOR BOLTS: Four galvanized anchor bolts provided per pole with minimum yield of 55,000 psi (modified ASTM-A36). Galvanized hardware with two washers/nuts per bolt for leveling meet or exceed bolt strength.
- FINISH: Durable Lektrocote® TGIC thermoset polyester powder coat paint finish with nominal 3.0 mil thickness. Zinc-rich powder paint prime applied over "white metal" steel substrate cleaned via mechanical shot blast method. Decorative finish coat available in seven standard colors. Custom colors available. RAL number preferable. Internal protective coating available.



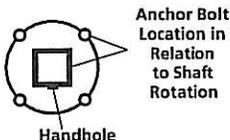
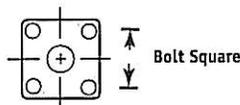
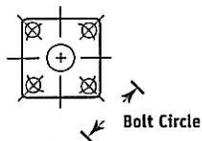
**BASE DETAIL**



**15 AMP GFCI  
RECEPTACLE & COVER**



Q18 OPTION



# ORDERING INFORMATION

Catalog Number	Pole Height		Nom. Shaft Dim.	Wind Load Rating <sup>1</sup>				Wall Thick	Bolt Circle	Bolt Sq.	Base Plate (Rd.)	Anchor Bolt Size	Bolt Proj.	Pole Wt. (lbs)
	ft	m		70 MPH	80 MPH	90 MPH	100 MPH							
RSA-08-30-A-XX-XX	8	2.44	3"	-	8	-	4.9	.125"	8"	5.66"	9" Sq x 1.25"	1/2 x 15 x 3"	N/A	18
RSA-08-45-A-XX-XX	8	2.44	4.5"	13	11	9	7	.125"	7.75"	5.48"	10.5 x 1.88"	3/4 x 30 x 3"	3 3/4"	36
RSA-10-40-C-XX-XX	10	3.05	4"	-	13.3	-	7.6	.220"	6.75"	4.77"	9.62 x 1.88"	3/4 x 30 x 3"	3 3/4"	40
RSA-10-45-A-XX-XX	10	3.05	4.5"	11	9	7	5.5	.125"	7.75"	5.48"	10.5 x 1.88"	3/4 x 30 x 3"	3 3/4"	40
RSA-10-45-C-XX-XX	10	3.05	4.5"	19.5	15	12	9.5	.237"	7.75"	5.48"	10.5 x 1.88"	3/4 x 30 x 3"	3 3/4"	44
RSA-12-40-C-XX-XX	12	3.66	4"	-	10.2	-	5.66	.220"	6.75"	4.77"	9.62 x 1.88"	3/4 x 30 x 3"	3 3/4"	46
RSA-12-45-A-XX-XX	12	3.66	4.5"	9	6.5	5	3.8	.125"	7.75"	5.48"	10.5 x 1.88"	3/4 x 30 x 3"	3 3/4"	44
RSA-12-45-C-XX-XX	12	3.66	4.5"	14.5	11	8.5	7	.237"	7.75"	5.48"	10.5 x 1.88"	3/4 x 30 x 3"	3 3/4"	51
RSA-14-40-C-XX-XX	14	4.27	4"	-	7.95	-	4.14	.220"	6.75"	4.77"	9.62 x 1.88"	3/4 x 30 x 3"	3 3/4"	52
RSA-14-45-A-XX-XX	14	4.27	4.5"	7	5	3.8	3	.125"	7.75"	5.48"	10.5 x 1.88"	3/4 x 30 x 3"	3 3/4"	48
RSA-14-45-C-XX-XX	14	4.27	4.5"	12	9	7	5.5	.237"	7.75"	5.48"	10.5 x 1.88"	3/4 x 30 x 3"	3 3/4"	58
RSA-16-40-C-XX-XX	16	4.88	4"	-	4.74	-	2.26	.220"	6.75"	4.77"	9.62 x 1.88"	3/4 x 30 x 3"	3 3/4"	58
RSA-16-45-A-XX-XX	16	4.88	4.5"	5.5	4	3	2	.125"	7.75"	5.48"	10.5 x 1.88"	3/4 x 30 x 3"	3 3/4"	60
RSA-16-45-C-XX-XX	16	4.88	4.5"	10	7.5	5.5	4.5	.237"	7.75"	5.48"	10.5 x 1.88"	3/4 x 30 x 3"	3 3/4"	66
RSA-18-40-C-XX-XX	18	5.49	4"	-	8.2	-	4.9	.220"	6.75"	4.77"	9.62 x 1.88"	3/4 x 30 x 3"	3 3/4"	64
RSA-18-45-A-XX-XX	18	5.49	4.5"	4.5	3	2	1.3	.125"	7.75"	5.48"	10.5 x 1.88"	3/4 x 30 x 3"	3 3/4"	68
RSA-18-45-C-XX-XX	18	5.49	4.5"	8.5	6	4.5	3.5	.237"	7.75"	5.48"	10.5 x 1.88"	3/4 x 30 x 3"	3 3/4"	73
RSA-20-40-C-XX-XX	20	6.10	4"	-	7.8	-	4.2	.220"	6.75"	4.77"	9.62 x 1.88"	3/4 x 30 x 3"	3 3/4"	70
RSA-20-45-A-XX-XX	20	6.10	4.5"	3.5	2.2	1.3	NR	.125"	7.75"	5.48"	10.5 x 1.88"	3/4 x 30 x 3"	3 3/4"	75
RSA-20-45-C-XX-XX	20	6.10	4.5"	7	5	3.5	2.5	.237"	7.75"	5.48"	10.5 x 1.88"	3/4 x 30 x 3"	3 3/4"	81
RSA-20-50-C-XX-XX	20	6.10	5"	9.5	7	5	3.8	.250"	7.75"	5.48"	10.62 x 1.88"	3/4 x 30 x 3"	3 3/4"	88
RSA-20-60-C-XX-XX	20	6.10	6"	17	13	9.5	7.5	.250"	8.75"	5.48"	11.62 x 1.88"	3/4 x 30 x 3"	3 3/4"	121
RSA-25-50-C-XX-XX	25	7.62	5"	5.5	4	2.5	1.5	.250"	7.75"	6.19"	10.62 x 1.88"	3/4 x 30 x 3"	3 3/4"	110
RSA-25-60-C-XX-XX	25	7.62	6"	11	8	5.5	4	.250"	8.75"	6.19"	11.62 x 1.88"	3/4 x 30 x 3"	3 3/4"	137
RSA-30-60-C-XX-XX	30	9.14	6"	7	4.5	3	1.5	.250"	8.75"	6.19"	11.62 x 1.88"	3/4 x 30 x 3"	3 3/4"	160

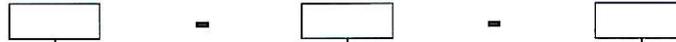
<sup>1</sup> Allowable EPA with 1.3 gust factor; To determine maximum pole loading weight, multiply allowable EPA by 30 lbs; Example: RSA-08-45-A pole in 70 MPH zone = 390 lbs (13 x 30); Published allowable EPA values based upon calculations of Spaulding Lighting; Allowable EPA values for projects requiring AASHTO methodology are available upon request

Note: Factory supplied template must be used when setting anchor bolts; Hubbell Lighting will deny any claim for incorrect anchorage placement resulting from failure to use factory supplied template and anchor bolts

**COMPLETE PART NUMBER REQUIRES SHAFT ABOVE PLUS MOUNTING TYPE, FINISH & APPROPRIATE OPTIONS BELOW**

## ORDERING INFORMATION ORDERING EXAMPLE: RSA-16-45-A-B1-DB-Q18

Complete part number requires shaft above plus mounting type, finish, and appropriate options below.



MOUNTING TYPE		MOUNTING TYPE (con't)		FINISH		OPTIONS		OPTIONS (con't)	
<b>AX<sup>1</sup></b> Side - single	<b>P1</b> Pad mount - spider type	<b>DB</b> Dark Bronze	<b>Q18<sup>4</sup></b> 15A GFCI receptacle & cover	<b>BL</b> Black	<b>Q30<sup>4</sup></b> 2" coupling	<b>Q22<sup>4</sup></b> Extra hand hole	<b>Q42<sup>4</sup></b> 2nd mode vibration damper	<b>Q26<sup>4</sup></b> 1/2" coupling	<b>LAB<sup>4</sup></b> Less anchor bolts
<b>BX<sup>1</sup></b> Side - double at 90°	<b>P2</b> Pad mount - yoke type	<b>WH</b> White	<b>Q27<sup>4</sup></b> 3/4" coupling	<b>GR</b> Gray					
<b>CX<sup>1</sup></b> Side - double at 180°	<b>TA</b> Tenon (2 3/8" OD)	<b>PS</b> Platinum		<b>RD</b> Red (premium color)					
<b>DX<sup>1</sup></b> Side - triple at 90°	<b>OT</b> Open top (for post-top luminaires)	<b>FG</b> Forest Green (premium color)		<b>CC</b> Custom Color (consult factory)					
<b>EX<sup>1</sup></b> Side - triple at 120°									
<b>FX<sup>1</sup></b> Side - quad at 90°									

- 1 DRILL PATTERNS: Replace X with the following: 2 = CL1, CR1, MSV, RCS (Raven), RCL (Raven)
- 2 Specify option location using logic found in pole introduction pages. The location of all options must start a minimum of one foot above the hand hole and be located one foot apart from one another. Consult factory for any exceptions.
- 3 RSA - 08 - 30 Series pole includes square base covers standard, round base covers not available.
- 4 Option not available with 3" diameter pole.



Spaulding Lighting • 701 Millennium Boulevard • Greenville, SC 29607 • Phone: 864-678-1000

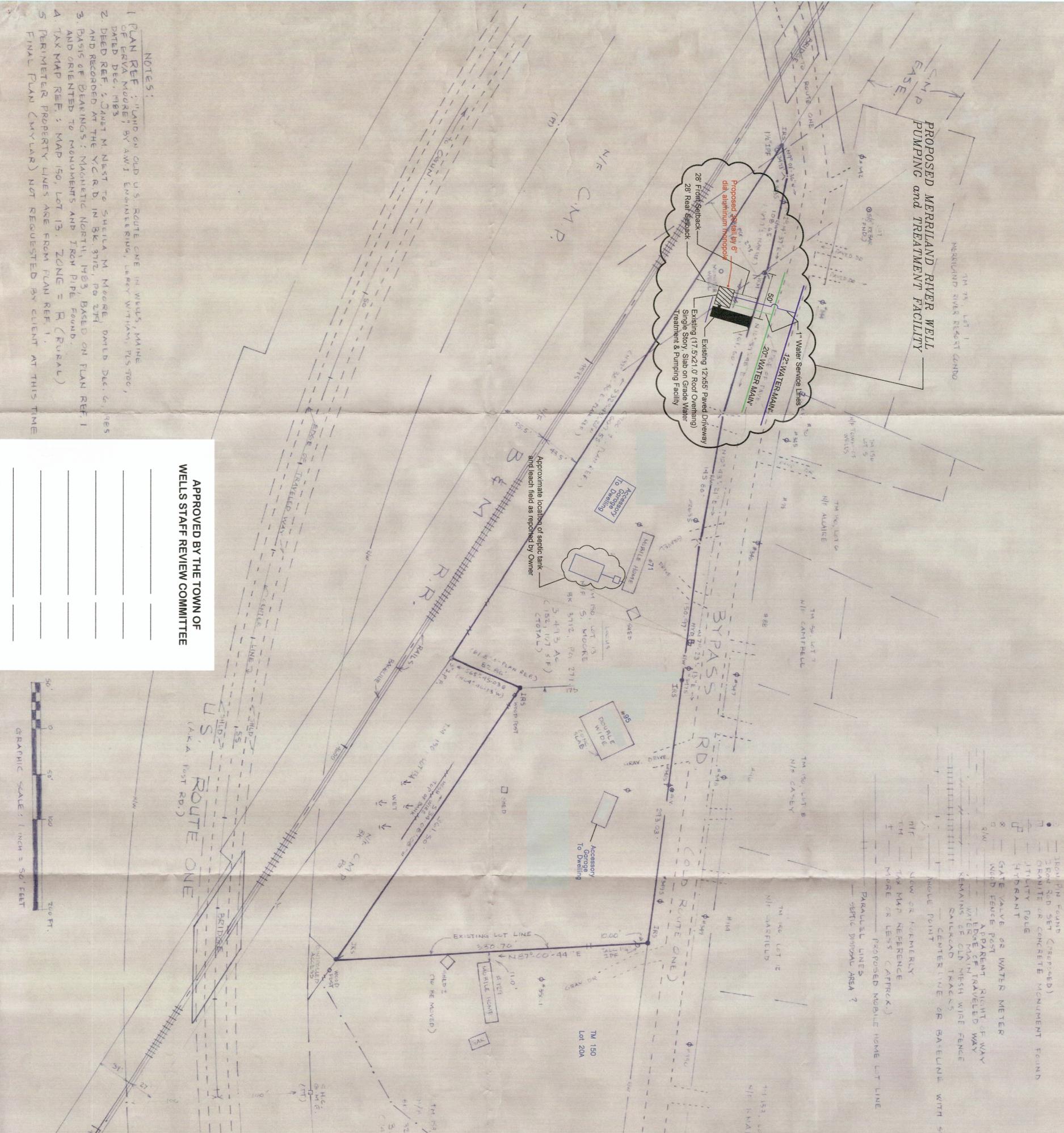
Due to our continued efforts to improve our products, product specifications are subject to change without notice.

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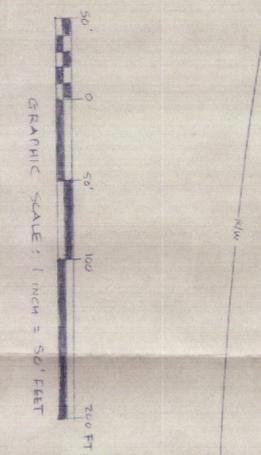
HUBBELL Lighting

**PROPOSED MERRILLAND RIVER WELL PUMPING and TREATMENT FACILITY**



- NOTES:**
1. PLAN REF: "LUNDEN OLD U.S. ROUTE ONE IN WELLS, MAINE OF ERVA MOORE" BY A.W.I. ENGINEERING, LEXINGTON, ME 04042, DATED DEC. 1983.
  2. DEED REF: "DAUNT N. NEXT TO SHEILA M. MOORE, DATED DEC. 6, 1985 AND RECORDED AT THE Y.C.R.D. IN BK. 3712, PG. 271.
  3. BASIS OF BEARINGS: MAGNETIC NORTH, 1983, BASED ON PLAN REF. 1 AND ORIENTED TO MONUMENTS AND IRON PIPE FOUND.
  4. TAX MAP REF: MAP 150, LOT 13, ZONE = R (RURAL)
  5. PERIMETER PROPERTY LINES ARE FROM PLAN REF. 1.
- FINAL PLAN (MYLAR) NOT REQUESTED BY CLIENT AT THIS TIME

APPROVED BY THE TOWN OF WELLS STAFF REVIEW COMMITTEE



U.S. ROUTE ONE (AKA 101ST RD.)

- LEGEND**
- IRON PIPE FOUND
  - 2" OR 3" SET CONCRETE MONUMENT FOUND
  - UTILITY OR CONCRETE MONUMENT FOUND
  - UTILITY POLE
  - HYDRANT
  - GATE VALVE POST
  - WATER METER
  - APPARENT RIGHT OF WAY
  - EDGE OF TRAVELED WAY
  - REMAINS OF OLD WIRE FENCE
  - SAUERLAND TRAILS
  - CENTERLINE OR BASELINE WITH STATIONING
  - WHOLE POINT
  - NEW OR FORMERLY
  - TOWN MAP REFERENCE
  - MORE OR LESS (APPROX.)
  - PROPOSED MOBILE HOME LOT LINE
  - PARALLEL LINES
  - SEPTIC DRAINAGE AREA ?

APPROVED BY THE TOWN OF WELLS STAFF REVIEW COMMITTEE

Prepared by:  
**JOHN BRUCKLER PLS 1285**  
 P.O. Box 931  
 Bethford, ME 04005

SKETCH SHOWING  
 LAND OF MIDDLE  
 LOCATED ON  
 BYPASS RD., WELLS MAINE  
 MADE FOR  
 (RECORD OWNER)  
**SHEILA MOORE**  
 553 BURNING MILL RD.  
 WELLS, ME 04090

SCALE: 1" = 50'  
 JOB # 08A05 DATE 9/22/08  
 REV: 11/20/108

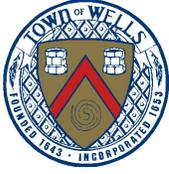
**ZONING DIMENSIONAL REQUIREMENTS**

ZONE	LOT SIZE (SQ. FT.)	DENSITY	COVERAGE	FRONTAGE	HEIGHT	SETBACKS
R	100,000 sq. ft. 40,000 sq. ft. & smaller east	100,000 sq. ft. 40,000 sq. ft. & smaller east 4 household/seasonal cottages per acre - min.	20% or 4,000	200'	40'3" story	25' front ROW 25' side highway 25' cemetery 200' rear

- PROJECT NOTES**
- 1) THE PROPOSED 28' TALL ALUMINUM MONOPOLE WITH 6" DIAMETER SHAWT WILL BE INSTALLED IMMEDIATELY ADJACENT TO THE EXISTING FACILITY AS SHOWN AND BE USED TO MOUNT A DATA COLLECTOR TO COLLECT AND TRANSMIT WATER METER READING DATA AS PART OF THE NETWORK COMMUNICATIONS FOR THE KAMWINS NEW WELLS ADVANCED LETTERING INFRASTRUCTURE SYSTEM.
  - 2) THE LOT SIZE IS 82,187 SQUARE FEET (5.9) EXISTING NON-VEGETATED COVERAGE IS APPROXIMATELY 18,800 SF (11.0%) AND WILL NOT CHANGE AS A RESULT OF THE PROPOSED WORK.
  - 3) THE POSTED SPEED ON BYPASS ROAD IS 25 MPH. THE SITE DISTANCE FROM THE EXISTING DRIVEWAY MEETS THE MINIMUM SIGHT DISTANCE OF 250'.
  - 4) THE PROPOSED PROJECT REQUIRES NO NEW UTILITY INSTALLATIONS (POWER, WATER OR SEWER) THERE ARE NO SANITARY SERVICES AT THIS FACILITY. THIS PROPOSED PROJECT WILL NOT GENERATE ANY REUSE.
  - 5) TWO SINGLE FAMILY DWELLINGS EXIST ON THE LOT. THE REQUIRED DENSITY IS 40,000 SF. TWO PARKING SPACES EXIST FOR EACH DWELLING. THE DWELLING AT 81 FORMERLY WAS NOTED ON THE SURVEY PLAN. BYPASS ROAD IS PROVIDED WITH PUBLIC WATER AND A PRIVATE SEPTIC SYSTEM. THE DWELLING AT 66 BYPASS ROAD IS PROVIDED WITH PUBLIC WATER. PUBLIC SEWER IS AVAILABLE BUT NOT REQUESTED FOR THIS PROJECT. PUBLIC FIRE HYDRANT 4.0 IS LOCATED ADJACENT TO THIS PROPERTY.
  - 6) THE KAMWINS HAS BEEN GRANTED AND HAS BEEN GRANTED A WAIVER REGARDING THE NEED TO PROVIDE A SOLID ROSSION AND SEDIMENTATION PLAN.
  - 7) THE DISTRICT HAS GIVEN PERMISSION USE AGREEMENT FROM OPEN TO UTILIZE ITS EXISTING R.O.W. TO CONSTRUCT THE TREATMENT FACILITY, DRIVEWAY AND RELATED APPEARANCES.
  - 8) THERE WILL BE NO EXTERIOR SIGNS ASSOCIATED WITH THIS PROPOSED PROJECT.
  - 9) SNOW REMOVAL WILL CONTINUE TO OCCUR BY PLowing PAST THE END OF THE PAVED DRIVEWAY WHERE THE SNOW WILL ALSO BE STORED.
  - 10) AN EXTERIOR LIGHT EXISTS ABOVE THE ENTRY DOOR AND IS PROVIDED WITH A COMMUNICATION MONITORING DETECTOR. THE LIGHT IS SHELDED TO LIMIT ILLUMINATION BEYOND THE DRIVEWAY. THERE WILL NOT BE ADDITIONAL LIGHTING AS A RESULT OF THE PROPOSED PROJECT.
  - 12) A KNOX BOX HAS BEEN PROVIDED FOR THE FIRE DEPARTMENT.

**Standard conditions of Approval**

1. The applicant agrees to provide the applicant with the plan on which the plan is based (a) a building permit is obtained and the building permit is issued (b) a plan is approved (c) a plan is approved (d) a plan is approved (e) a plan is approved (f) a plan is approved (g) a plan is approved (h) a plan is approved (i) a plan is approved (j) a plan is approved (k) a plan is approved (l) a plan is approved (m) a plan is approved (n) a plan is approved (o) a plan is approved (p) a plan is approved (q) a plan is approved (r) a plan is approved (s) a plan is approved (t) a plan is approved (u) a plan is approved (v) a plan is approved (w) a plan is approved (x) a plan is approved (y) a plan is approved (z) a plan is approved (aa) a plan is approved (ab) a plan is approved (ac) a plan is approved (ad) a plan is approved (ae) a plan is approved (af) a plan is approved (ag) a plan is approved (ah) a plan is approved (ai) a plan is approved (aj) a plan is approved (ak) a plan is approved (al) a 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**Planning & Development**  
**208 Sanford Road, Wells, Maine 04090**  
Phone: (207) 646-5187, Fax: (207) 646-2935  
Website: [www.wellstown.org](http://www.wellstown.org)

<i>Michael G. Livingston, Town Engineer/Planner</i>	<a href="mailto:mlivingston@wellstown.org">mlivingston@wellstown.org</a>
<i>Shannon M. L. Belanger, Planning Assistant</i>	<a href="mailto:sbelanger@wellstown.org">sbelanger@wellstown.org</a>

### **Preliminary Subdivision Application Memo**

Date: December 31, 2015

To: Planning Board

From: Planning Office

Re: Millbrooke Farm Subdivision – Phase VI - Map 72, Lot 4B, 12 and 13

#### **Project Description:**

Bob Georgitis of Kasprzak Homes/ Kasprzak Landholdings has submitted a Preliminary Subdivision application for a major subdivision to be located off of Willow Way, Gateway Drive and Midway Drive. The subdivision shall consist of 70 dwelling units constructed as 35 duplex buildings on 20.13 acres of land (Multifamily Development) with 60.69 acres as dedicated open space. The subdivision and open space shall be located on the following parcels: Tax Map 72, Lot 4B, Lot 12 and Lot 13 and total 80.82 acres (80.81 net acres). The parcels are located within the Rural District and 75' Shoreland Overlay District. The parcels shall be connected to public sewer and public water.

#### **§ 202-8. Preliminary plan for major subdivision.**

##### A. Procedure.

- (1) Within six months after the on-site inspection by the Board, the subdivider shall submit an application for approval of a preliminary plan at least 10 days prior to a scheduled meeting of the Board. Failure to do so shall require resubmission of the sketch plan to the Board. The preliminary plan shall approximate the layout shown on the sketch plan, plus any recommendations made by the Board. **[Amended 7-11-1996] Site Walk was held on 10/17/15. Preliminary Application was submitted on 11/12/15**
- (2) All applications for preliminary plan approval for a major subdivision shall be accompanied by an application fee in the amount established by the Board of Selectmen following notice and a public hearing. In addition, the applicant shall pay a fee of \$25 per lot or dwelling unit, to be deposited in a special account designated for that subdivision application, to be used by the Planning Board for hiring independent consulting services to review the application. If the balance in this special account shall be drawn down by 75%, the Board shall notify the applicant and require that an additional \$10 per lot or dwelling unit be deposited by the applicant. The Board shall continue to notify the applicant and require that an additional \$10 per lot or dwelling unit be deposited as necessary whenever the balance of the account is drawn down by 75% of the original deposit. Any balance in the account remaining after a final decision on the subdivision application by the Board shall be returned to the applicant. **[Amended 5-16-1996; 7-9-2002; 4-16-2004] Application fee and escrow provided**
- (3) The subdivider, or his duly authorized representative, shall attend the meeting of the Board to

discuss the preliminary plan. **Yes**

- (4) When the application is received by the Planning Board, it shall give the applicant a dated receipt acknowledging that it has received the application. **Planning Board received the Preliminary Application on 12/7/15**
- (5) Within 20 days of the Board meeting at which the application is received, the Board shall notify by certified mail all owners of abutting property and the Town Clerk and Planning Board of any municipality that abuts or includes any portion of the proposed subdivision that an application for subdivision approval has been submitted. The notice shall include the location of the proposed subdivision and a general description of the proposed development. The notice shall be mailed no less than seven days prior to the Board commencing review of the plan. [**Amended 7-9-2002**] **Abutters mailed notice of Preliminary Application on 11/18/15**
- (6) If the subdivision is located in more than one municipality, the Board shall have a joint meeting with the Planning Board of the adjacent municipality to discuss the plan. **Not Applicable**
- (7) Within 30 days of receipt of a preliminary plan application form and fee, the Board shall notify the applicant in writing whether or not the application is complete and what, if any, additional submissions are required for a complete application. **Application found complete 12/23/15 for purposes of scheduling a public hearing**
- (8) Upon determination that a complete application has been submitted for review, the Board shall issue a dated receipt to the subdivider. Within 30 days of determining a complete application has been submitted, the Board shall hold a public hearing on the preliminary plan application and shall publish notice of the date, time and place of the hearing in a newspaper of general circulation in the municipality at least two times, the date of the first publication to be at least seven days prior to the hearing. A copy of the notice shall be mailed to the applicant and the owners of abutting property. **Public Hearing to be held on 1/4/16**
- (9) The Board shall, within 30 days of a public hearing or within another time limit as may be otherwise mutually agreed to by the Board and the subdivider, make findings of fact on the application and approve, approve with conditions or deny the preliminary plan. The Board shall specify in writing its findings of fact and reasons for any conditions or denial. **To be determined**
- (10) When granting approval to a preliminary plan, the Board shall state the conditions of such approval, if any, with respect to: **To be determined**
  - (a) The specific changes which it will required in the final plan;
  - (b) The character and extent of the required improvements for which waivers may have been requested and which in the Board's opinion may be waived without jeopardy to the public health, safety and general welfare; and
  - (c) The amount of all performance guaranties which it will require as prerequisite to the approval of the final plan.
- (11) Approval of a preliminary plan shall not constitute approval of the final plan or intent to approve the final plan, but rather it shall be deemed an expression of approval of the design of the preliminary plan as a guide to the preparation of the final plan. The final plan shall be submitted for approval of the Board upon fulfillment of the requirements of these regulations and the conditions of preliminary approval, if any. Prior to the approval of the final plan, the Board may require additional changes as a result of the further study of the subdivision or as a result of new information received. **To be determined**

#### B. Submissions.

- (1) Location map. The preliminary plan shall be accompanied by a location map adequate to show the relationship of the proposed subdivision to the adjacent properties and to allow the Board to locate the subdivision within the municipality. The location map shall show:
  - (a) Existing subdivisions adjacent to the proposed subdivision.
  - (b) Locations and names of existing and proposed streets.

- (c) Boundaries and designations of zoning districts.
  - (d) An outline of the proposed subdivision and any remaining portion of the owner's property if the preliminary plan submitted covers only a portion of the owner's entire contiguous holding.
- (2) Preliminary plan. The preliminary plan shall be submitted in three copies of one or more maps or drawings which may be printed or reproduced on paper, with all dimensions shown in feet or decimals of a foot. The preliminary plan shall be drawn to a scale of not more than 100 feet to the inch. The Board may allow plans for subdivisions containing more than 100 acres to be drawn at a scale of not more than 200 feet to the inch provided all necessary detail can easily be read. In addition, the applicant shall submit to the Office of Planning and Development 11 copies of the plan(s) reduced to a size of 11 inches by 17 inches and all accompanying information assembled into a booklet no less than 10 days prior to the meeting. The following information shall either be shown on the preliminary plan or accompany the application for preliminary approval: **To be determined**

### **Recommendations and conclusions:**

1. The Planning Board should consider comments offered during the Public Hearing.
2. The Planning Board to workshop the following items:
  - a. Applicant to ensure the path proposed to the cemetery complies with local and state requirements with regard to disturbance within 25 feet of a cemetery.
  - b. Forest Management plan and cutting restrictions within the Shoreland Overlay areas of the Open space shall be noted on the plan
  - c. The Planning Board to review the 25' wide vegetated landscaped buffer proposed along all lot boundaries and determine if note 23 and the tree line and plantings on sheet 15 satisfies this requirement.
  - d. Initial review is that the development will meet the Town requirements. Memo by the Town Engineer to be provided at final subdivision review.
  - e. The Planning Board to determine if the proposed road ways are acceptable (22 foot wide, paved, with concrete curbing and sidewalks) per 201-10G.
  - f. Of the 80.82 acres 60.69 acres to be dedicated as Open Space. Is public use of the 60.69 acres of dedicated Open Space proposed? The minimum required Open Space per 202-12B is to be noted on sheet 2.
  - g. A copy of the soil survey for this area not provided.
  - h. A letter from IF&W has not been provided but can be waived by the Planning Board due to already receiving MDEP Site Location approval.
3. If the items above are satisfactory addressed or waivers granted the Planning Board should review the Preliminary Findings of Fact & Decisions and conditions of approval. If acceptable, the Planning Board should consider voting to approve and sign the Preliminary Findings of Fact & Decisions.



December 22, 2015  
04426

Michael Livingston, Town Engineer  
Town of Wells  
208 Sanford Road  
Wells, Maine 04090

**Response to Town Engineer Comments**  
**Millbrooke Farm Condominiums at Riverbend Woods**  
**Willow Way, Wells, Maine**

Dear Mike:

On behalf of Kasprzak Landholdings, Inc., we have reviewed the comments included in your Preliminary Subdivision Application Memo dated December 3, 2015 regarding the proposed Millbrooke Farm Condominium project phase at Heron Landing in Wells. The original comments shown below with our response in ***bold italic***.

1. Condominium Documents have been provided:
  - a. KKW capacity letter received

***No response needed.***

- b. WSD capacity letter received

***No response needed.***

- c. Condominium Documents have been provided:

- i. Metes and bounds description needed (Appendix I).

***Response: The Condominium Declaration has been updated to include the metes and bounds.***

- ii. Reference to stormwater management maintenance plan and include in appendix

***Response: The Condominium Declaration has been updated to include the DEP Stormwater Management Section as a new Appendix B.***

- iii. ROW across Gateway not needed or conveyable

***Response: This reference has been deleted.***

- iv. Needs Open Space dedication specified.

***Response: The Open Space as noted on the plans is dedicated and will be owned by the Riverbend Woods Association. The property will be conveyed by deed prior to recording of the Condominium Declaration.***

- v. ROW across Midway Drive, Heron Landing Drive, and Windward Pointe Drive

***Response: There are no right of ways per se on the plans for Heron Landing or Windward Pointe. Kasprzak has always accepted and reserved to Kasprzak Landholdings, Inc., its successors and assigns, the right and easement to use the common areas area for pedestrian and vehicular ingress and same is true for Millbrooke Farm.***

- vi. Reference DEP approval # and date

***Response: DEP References added in Appendix I.***

- vii. Unit boundaries/ Limited Common Elements proposed?

***Response: Yes, as noted in the Condominium Declaration.***

- b. Cemetery ownership (take shading off of sheet 1), State unknown if unknown

***Response: Shading has been removed from Sheet 1 and cemetery ownership has been added.***

- c. Property lines noted in legend and between duplexes, but lots are not proposed

***Response: The legend has been revised to distinguish between the proposed property boundaries and the building windows.***

- d. Net area difference of 137 SF (deduction for?)

***Response: The 137 SF deduction is the area of the 6" strip along Willow Way which was required in the Heron Landing development to create a 50' wide right of way. This deduction has been clarified on Sheet 2 under Unit Density Calculations.***

- e. Multifamily Development buffer/setback of 25' to be defined on plans and buffer proposed to be reviewed

***Response: The buffer/setback has been added to the plans.***

- f. A 75' setback (25' x 3) is required from the residential abutting lots (Map 72, Lot 5 and Map 72, Lot 4A) per 145-48C

***Response: The setback has been added***

- g. A visual screen is required along the southerly boundary of this Multifamily Development subdivision for all residences within 200 feet on lot 4A and 6.

***Response: A visual screen has been provided by use of buffering trees.***

- h. Sanitary District Easement and Gateway Drive conveyance to be referenced on the plans (Book & Page #s)

***Response: The book and pages for both the existing Sanitary District Easement and the conveyance of Gateway Drive has been referenced on the Subdivision Plan.***

- i. Open Space ownership and management, Association document needed

***Response: The Riverbend Woods Association document was included in the application filing for Heron Landing Condominium.***

- j. Waiver to be considered for the following:  
i. Trees greater than 24" inches in diameter in the Open Space area. Will the Open Space area be a not cut area?

***Response: The Open Space will be managed by the Riverbend Woods Association Board of Directors in accordance with a forest management program developed by Wadsworth Woodlands Management plan to promote a healthy forest within the open space.***

- m. Wetlands within the Open Space area not complete

***Response: A waiver was requested at the meeting with the Planning Board and the consensus was at the time that mapping of wetlands for the entire open space will not be required unless a structure was proposed at some future date to be installed, which would require Town approval, thus requiring a wetland survey in that area then.***

- n. Parcel contours within the Open Space area not depicted

***Response: Parcel contours are now shown.***

We hope that you will find our responses and the submitted design acceptable. If you have any questions or need additional information, please do not hesitate to contact me. If not, then we look forward to meeting with the Planning Board at the next meeting.

Sincerely,

SEBAGO TECHNICS, INC.

A handwritten signature in black ink, appearing to read "Jayson R. Haskell". The signature is written in a cursive, flowing style.

Jayson R. Haskell, P.E.  
Project Engineer

JRH/llg

cc: Robert Georgitis, Kasprzak Landholdings, Inc.

# MILLBROOKE FARM CONDOMINIUMS

WILLOW WAY  
WELLS, MAINE

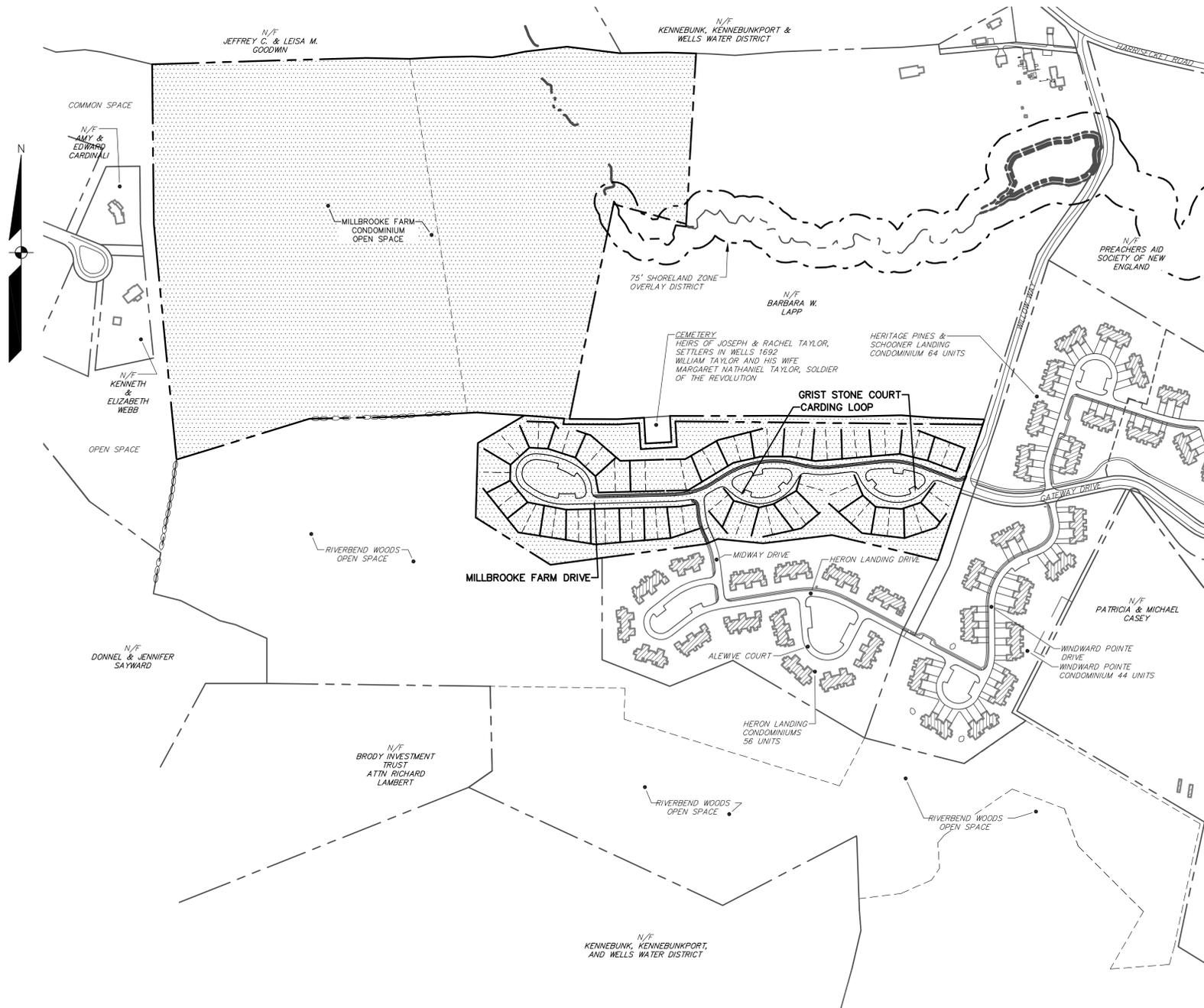
APPLICANT:  
KASPRZAK  
LANDHOLDINGS, INC.  
P.O. BOX 26  
NORTH WATERBORO, MAINE 04061



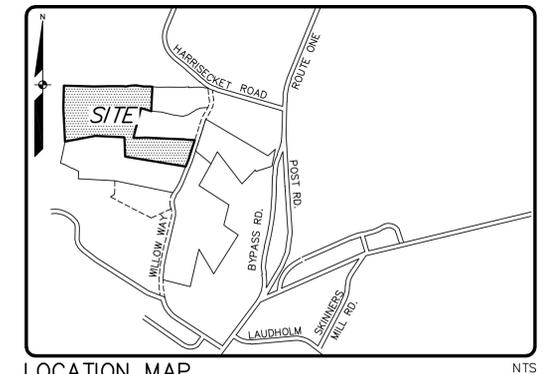
ENGINEER/SURVEYOR:

**SEBAGO**  
TECHNICS

WWW.SEBAGOTECHNICS.COM  
75 John Roberts Rd. Suite 1A South Portland, ME 04106  
250 Goddard Rd. Suite B Lewiston, ME 04240  
Tel. 207-200-2100 Tel. 207-783-5656



SCALE: 1" = 250'



LOCATION MAP

NTS

## SHEET INDEX

SHEET	TITLE
1	COVER SHEET
2	SUBDIVISION PLAN
3	SUBDIVISION PLAN
4	PLAN & PROFILE-MILLBROOKE FARM DR
5	PLAN & PROFILE-MILLBROOKE FARM DR
6	PLAN & PROFILE-MILLBROOKE FARM DR
7	PLAN & PROFILE-MILLBROOKE FARM DR
8	PLAN & PROFILE-MILLBROOKE FARM DR
9	PLAN & PROFILE-GRISTONE COURT
10	PLAN & PROFILE-CARDING LOOP
11	PLAN & PROFILE-MIDWAY DRIVE
12	GRADING & DRAINAGE PLAN
13	GRADING & DRAINAGE PLAN
14	GRADING & DRAINAGE PLAN
15	LANDSCAPE PLAN
16	DETAILS
17	DETAILS
18	DETAILS

REVISED THROUGH 12-22-15

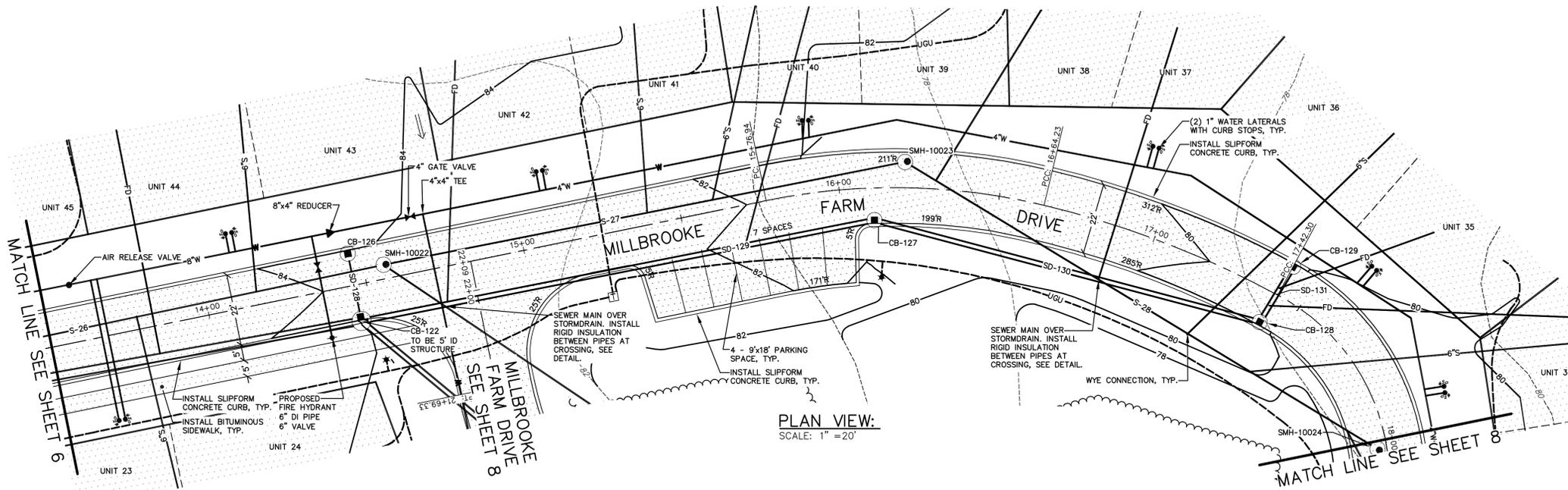






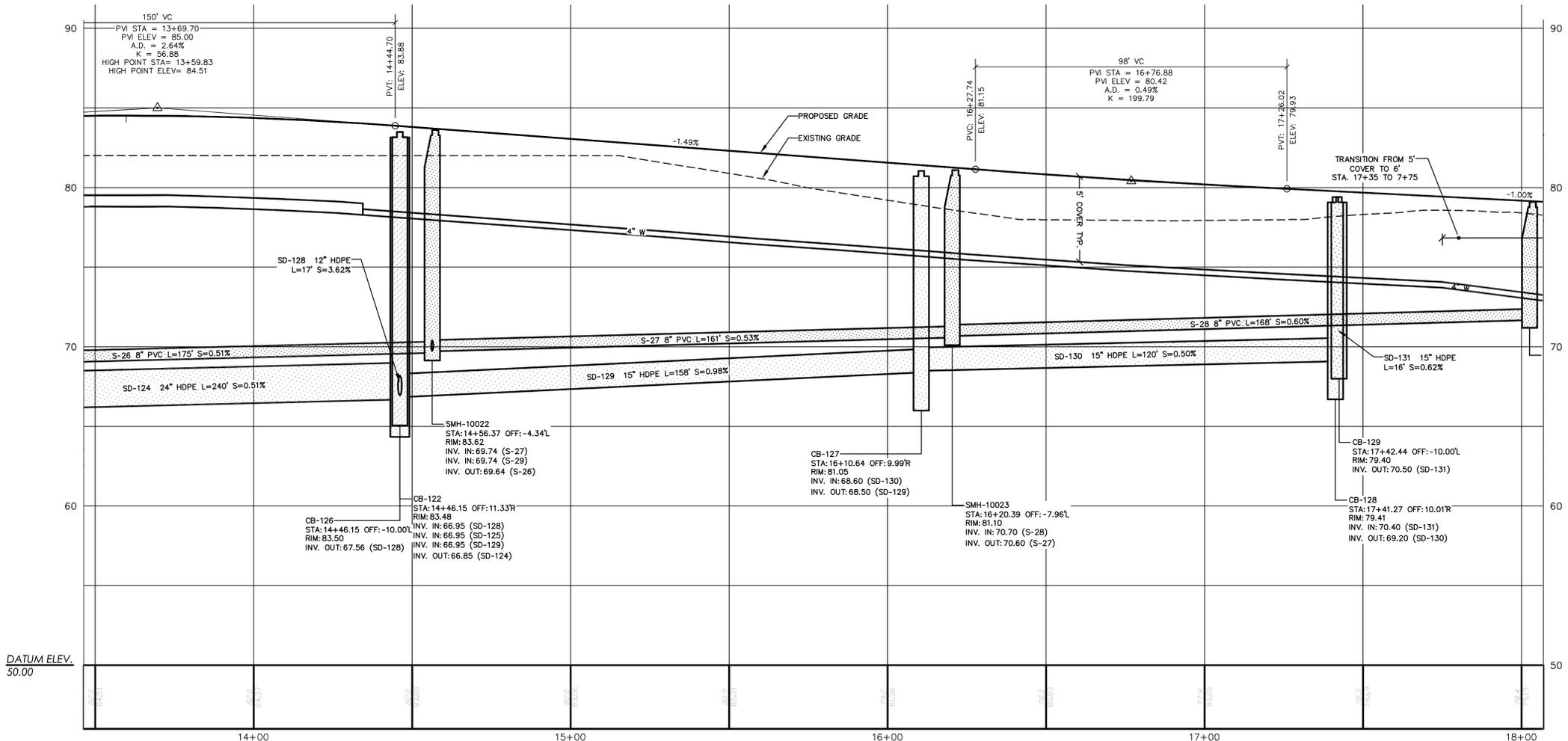
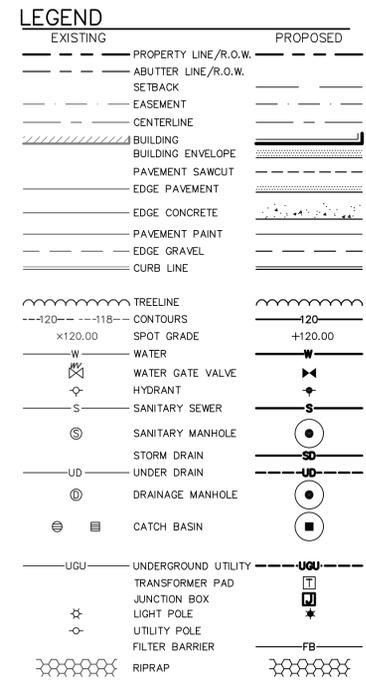




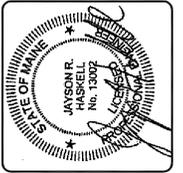


PLAN VIEW:  
SCALE: 1" = 20'

- NOTES:**
- SEWER MANHOLES LABELED WITH "DROP" (DROP MANHOLE) TO BE 6' DIAM. STRUCTURES WITH AN INTERNAL DROP. SEE DETAIL.
  - INSULATE SEWER SERVICE IF LESS THAN 4.5' COVER. ALL SANITARY SEWER SERVICES TO SLOPE AT 2% MIN. TYP SEE DETAIL.
  - PIPE MATERIALS:  
STORMDRAIN: HDPE SMOOTH BORE  
SANITARY SEWER: SDR 35 PVC  
WATERMAIN: PER KENNEBUNK, KENNEBUNKPORT AND WELLS WATER DISTRICT (KKWWD) REQUIREMENTS
  - SEE SHEET 14 FOR ALL PROPOSED STRUCTURE AND PIPE DATA



PROFILE MILLBROOKE FARM DRIVE:  
SCALE: HORZ. 1" = 20'  
VERT. 1" = 4'



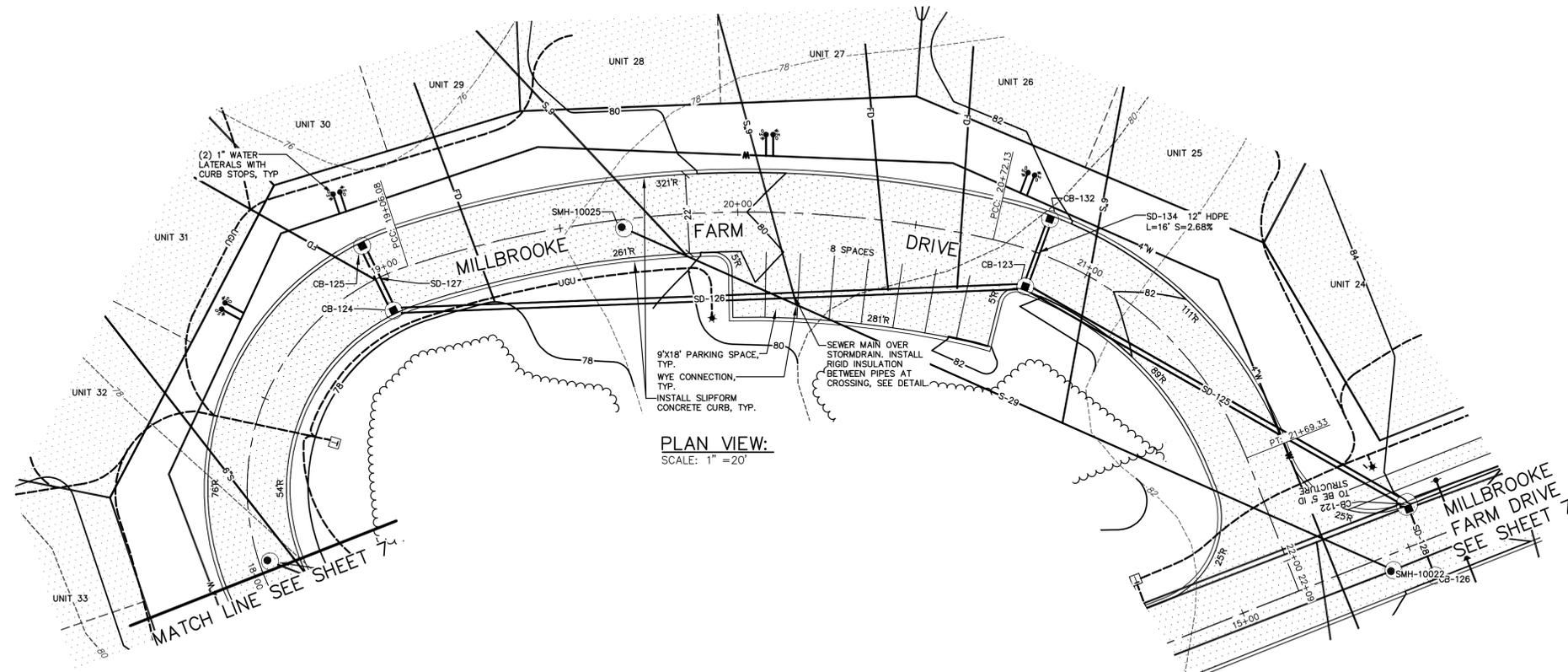
DESIGNED	CHECKED
CCA	JRH
B. JRH 12-22-15 REVISED PER WELLS SANITARY DISTRICT REVIEW COMMENTS	
A. JRH 11/13/15 SUBMITTED TO TOWN FOR SITE PLAN REVIEW	
REVIEW BY:	DATE:
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.	

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250 Gaddard Rd., Suite B  
Lewiston, ME 04240  
Tel. 207-209-2100

PLAN & PROFILE-MILLBROOKE FARM DR  
OF: MILLBROOKE FARM CONDOMINIUMS  
WILLOW WAY  
WELLS, MAINE  
FOR: KASPRZAK LANDHOLDINGS, INC.  
P.O. BOX 26  
NORTH WATERBORO, MAINE 04061

PROJECT NO.	SCALE
04426	AS NOTED
SHEET 7 OF 18	

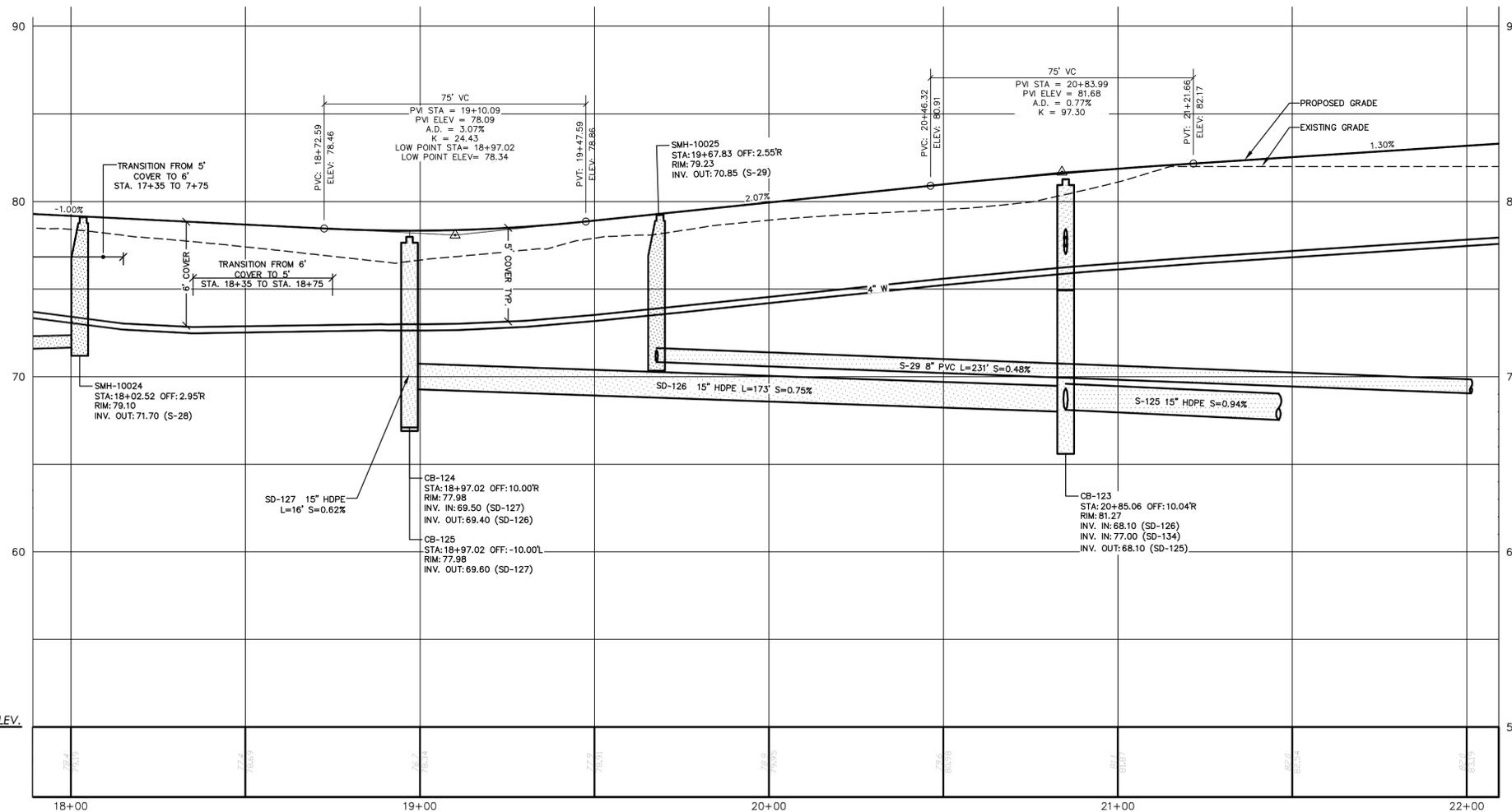
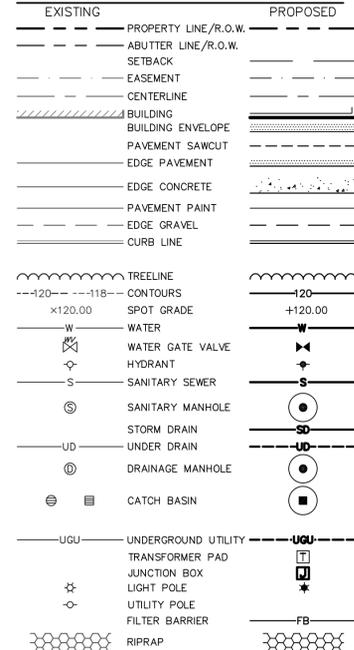
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**NOTES:**

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**LEGEND**



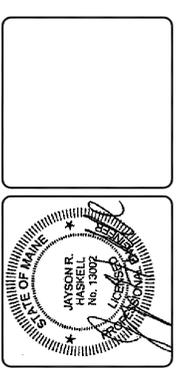
**PROFILE MILLBROOKE FARM DRIVE:**  
 SCALE: HORZ. 1" = 20'  
 VERT. 1" = 4'

DESIGNED	CHECKED
CCA	JRH
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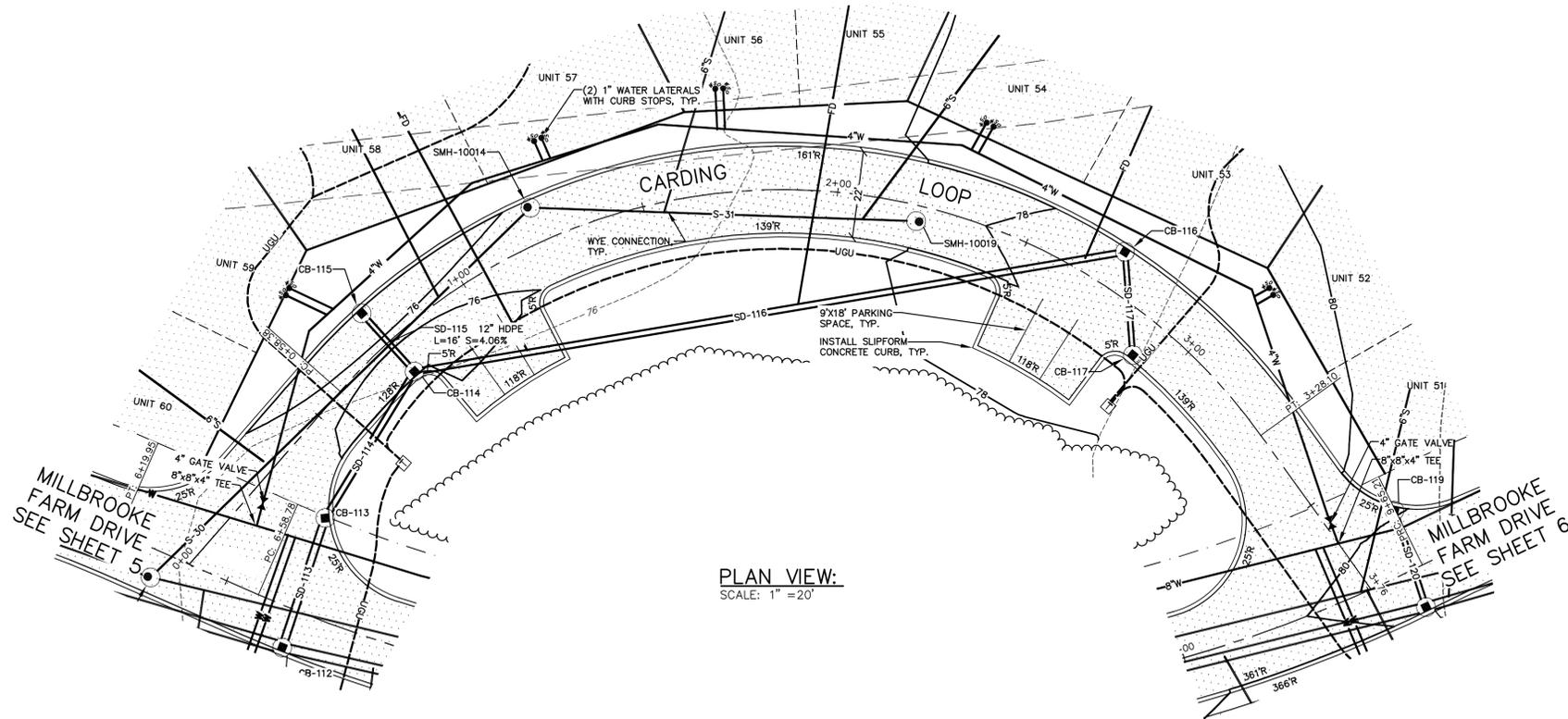
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 75 John Roberts Rd., 250 Goddard Rd.,  
 Suite 1A South Portland, Suite B  
 Lewiston, ME 04240  
 Tel. 207-200-2100

**PLAN & PROFILE-MILLBROOKE FARM DR**  
 OF: STA. 18+00 TO STA. 22+00  
**MILLBROOKE FARM CONDOMINIUMS**  
 WILLOW WAY  
 WELLS, MAINE  
 FOR: **KASPRZAK LANDHOLDINGS, INC.**  
 P.O. BOX 26  
 NORTH WATERBORO, MAINE 04061

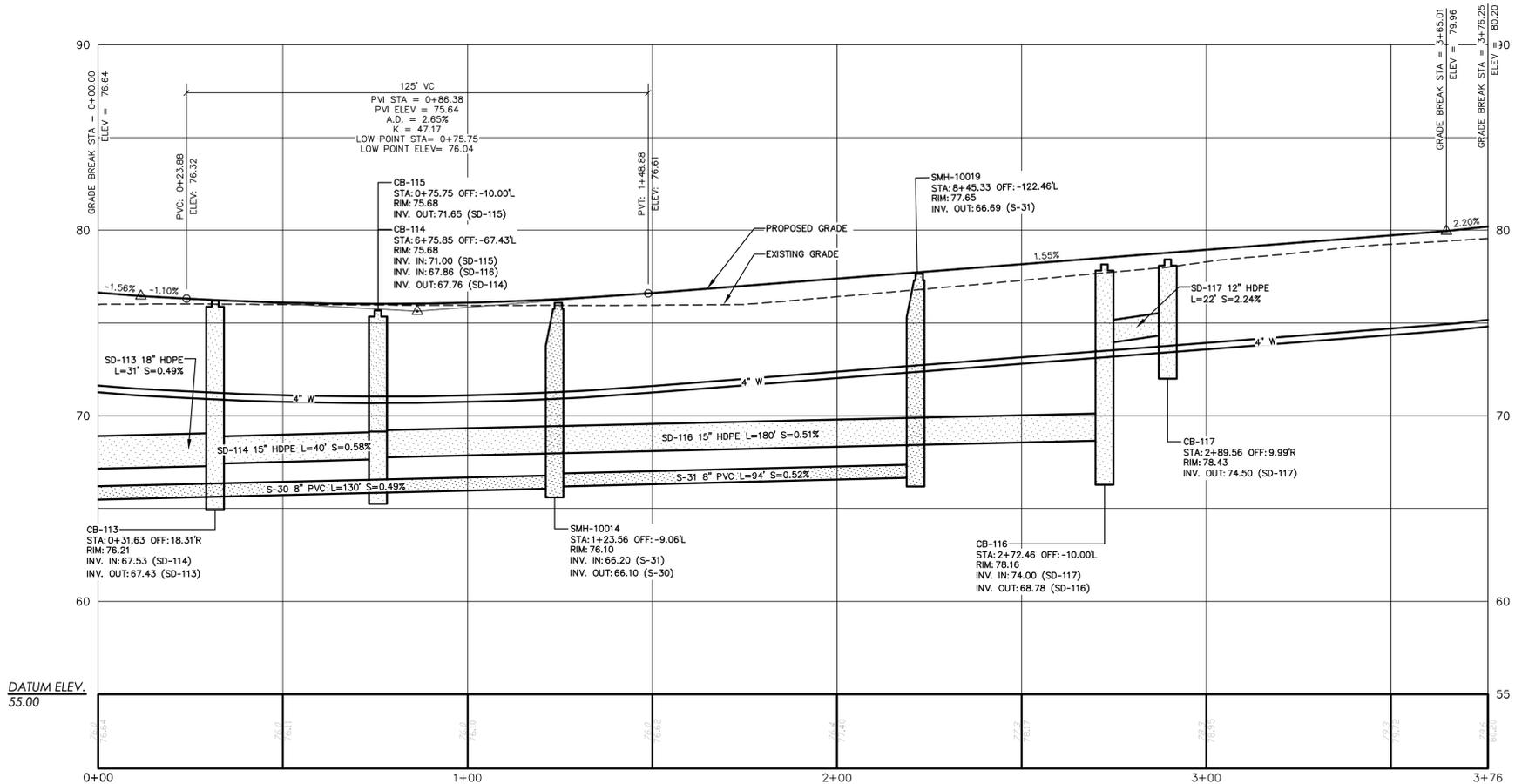
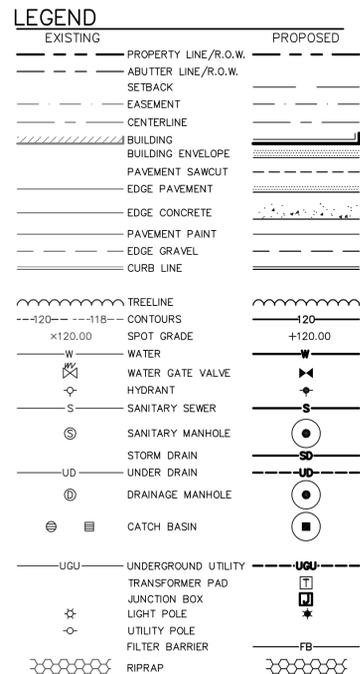
JAYSON R. HASKELL, PE 13002  
 PLS OR PE







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  - INSULATE SEWER SERVICE IF LESS THAN 4.5" COVER. ALL SANITARY SEWER SERVICES TO SLOPE AT 2% MIN. TYP SEE DETAIL.
  - PIPE MATERIALS:  
 STORM DRAIN: HDPE SMOOTH BORE  
 SANITARY SEWER: SDR 35 PVC  
 WATER MAIN: PER KENNEBUNK, KENNEBUNKPORT AND WELLS WATER DISTRICT (KKWWD) REQUIREMENTS
  - SEE SHEET 14 FOR ALL PROPOSED STRUCTURE AND PIPE DATA



**PROFILE CARDING LOOP:**  
 SCALE: HORZ. 1" = 20'  
 VERT. 1" = 4'

DESIGNED	CHECKED
CCA	JRH
B JRH 12-22-15 REVISED PER WELLS SANITARY DISTRICT REVIEW COMMENTS A JRH 11/13/15 SUBMITTED TO TOWN FOR SITE PLAN REVIEW REV. BY: DATE: STATUS: THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.	

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**PLAN & PROFILE-CARDING LOOP**  
 OF:  
**MILLBROOKE FARM CONDOMINIUMS**  
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**KASPRZAK LANDHOLDINGS, INC.**  
 P.O. BOX 26  
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PROJECT NO.	SCALE
04426	AS NOTED
SHEET 10 OF 18	

JAYSON R. HASKELL, PE 13002  
 PE 13002  
 STATE OF MAINE  
 JAYSON R. HASKELL  
 No. 13002

PLS OR PE  
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# EROSION CONTROL MEASURES

## PRE-CONSTRUCTION PHASE

PRIOR TO THE BEGINNING OF ANY CONSTRUCTION, SEDIMENT BARRIERS (SILT FENCE) WILL BE STAKED/INSTALLED ACROSS THE SLOPE(S), ON THE CONTOUR AT OR JUST BELOW THE LIMITS OF CLEARING OR GRUBBING, AND/OR JUST ABOVE ANY ADJACENT PROPERTY LINE OR WATERCOURSE TO PROTECT AGAINST CONSTRUCTION RELATED EROSION. THE PLACEMENT OF SEDIMENT BARRIERS SHALL BE COMPLETED IN ACCORDANCE WITH GUIDELINES ESTABLISHED IN BEST MANAGEMENT PRACTICES AND IN ACCORDANCE WITH THIS EROSION CONTROL PLAN AND DETAILS IN THE PLAN SET. THIS NETWORK IS TO BE MAINTAINED BY THE CONTRACTOR UNTIL ALL EXPOSED SLOPES HAVE AT LEAST 85%-90% VIGOROUS PERENNIAL VEGETATIVE COVER TO PREVENT EROSION. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER PERMANENT STABILIZATION IS ATTAINED.

PRIOR TO ANY CLEARING OR GRUBBING, A CONSTRUCTION ENTRANCE/EXIT SHALL BE CONSTRUCTED AT THE INTERSECTION OF THE PROPOSED ENTRANCES AND EXISTING ROADWAY TO AVOID TRACKING OF MUD, DUST AND DEBRIS FROM THE SITE.

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PREPARE A DETAILED SCHEDULE AND MARKED UP PLAN INDICATING AREAS AND COMPONENTS OF THE WORK AND KEY DATES SHOWING DATE OF DISTURBANCE AND COMPLETION OF THE WORK. THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE MUNICIPAL STAFF. THREE COPIES OF THE SCHEDULE AND MARKED UP PLAN SHALL BE PROVIDED TO THE MUNICIPALITY THREE DAYS PRIOR TO THE SCHEDULED PRE-CONSTRUCTION MEETING. SPECIAL ATTENTION SHALL BE GIVEN TO THE 14 DAY LIMIT OF DISTURBANCE IN THE SCHEDULE ADDRESSING TEMPORARY AND PERMANENT VEGETATION MEASURES.

## CONSTRUCTION AND POST-CONSTRUCTION PHASE

AREAS UNDERGOING ACTUAL CONSTRUCTION SHALL ONLY EXPOSE THAT AMOUNT OF MINERAL SOIL NECESSARY FOR PROGRESSIVE AND EFFICIENT CONSTRUCTION. AN AREA CONSIDERED OPEN IS ANY AREA NOT STABILIZED WITH PAVEMENT, VEGETATION, MULCHING, EROSION CONTROL MATS, RIPRAP OR GRAVEL BASE ON A ROAD. OPEN AREAS SHALL BE ANCHORED WITH TEMPORARY EROSION CONTROL AS SHOWN ON THE DESIGN PLANS AND AS DESCRIBED WITHIN THIS EROSION CONTROL PLAN WITHIN 14-DAYS OF DISTURBANCE. AREAS LOCATED WITHIN 100' OF STREAMS SHALL BE ANCHORED WITH TEMPORARY EROSION CONTROL WITHIN SEVEN (7) DAYS. REFER TO WINTER EROSION CONTROL NOTES FOR THE TREATMENT OF OPEN AREAS AFTER OCTOBER 1ST OF THE CONSTRUCTION YEAR.

THE CONTRACTOR MUST INSTALL ANY ADDED MEASURES WHICH MAY BE NECESSARY TO CONTROL EROSION/SEDIMENTATION FROM THE SITE DEPENDENT UPON THE ACTUAL SITE AND WEATHER CONDITIONS. CONTINUATION OF EARTHWORK OPERATIONS ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED, IN ORDER TO MINIMIZE AREAS WITHOUT EROSION CONTROL PROTECTION.

## EROSION CONTROL APPLICATIONS & MEASURES

THE PLACEMENT OF EROSION CONTROL MEASURES SHALL BE COMPLETED IN ACCORDANCE WITH GUIDELINES ESTABLISHED IN BEST MANAGEMENT PRACTICES AND IN ACCORDANCE WITH THE EROSION CONTROL PLAN AND DETAILS IN THE PLAN SET.

- TEMPORARY MULCHING:**  
 ALL DISTURBED AREAS SHALL BE MULCHED WITH MATERIALS SPECIFIED BELOW PRIOR TO ANY STORM EVENT. ALL DISTURBED AREAS NOT FINAL GRADED WITHIN 14 DAYS SHALL BE MULCHED. ALSO, AREAS, WHICH HAVE BEEN TEMPORARILY OR PERMANENTLY SEEDED, SHALL BE MULCHED IMMEDIATELY FOLLOWING SEEDING. EROSION CONTROL BLANKETS ARE RECOMMENDED TO BE USED AT THE BASE OF GRASSED WATERWAYS AND ON SLOPES GREATER THAN 15%. MULCH ANCHORING SHOULD BE USED ON SLOPES GREATER THAN 5% AFTER SEPTEMBER 15TH OF THE CONSTRUCTION YEAR (SEE WINTER EROSION CONTROL NOTES).  
**HAY OR STRAW:** SHALL BE APPLIED AT A RATE OF 75 LBS/1,000 S.F. (1.5 TONS PER ACRE).  
**EROSION CONTROL MATS:** SHALL BE APPLIED TO ALL EXPOSED SLOPES GREATER THAN 15% AND TO ALL EXPOSED SLOPES UP TO 100 FEET. THE THICKNESS ON SLOPES 3:1 OR LESS IS 2 INCHES PLUS 1/2 INCH PER 20 FEET OF SLOPE UP TO 100 FEET. THE THICKNESS ON SLOPES BETWEEN 3:1 AND 2:1 SHALL BE 4 INCHES PLUS 1/2 INCH PER 20 FEET OF SLOPE UP TO 100 FEET. THIS SHALL NOT BE USED ON SLOPES GREATER THAN 2:1.  
**EROSION CONTROL BLANKETS:** SHALL BE INSTALLED SUCH THAT CONTINUOUS CONTACT BETWEEN THE MAT AND THE SOIL IS OBTAINED. INSTALL BLANKETS AND STAPLE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- SOIL STOCKPILES:**  
 STOCKPILES OF SOIL OR SUBSOIL SHALL BE MULCHED WITH HAY OR STRAW AT A RATE OF 75 LBS/1,000 S.F. (1.5 TONS PER ACRE) OR WITH A FOUR-INCH LAYER OF WOOD WASTE EROSION CONTROL MIX. THIS WILL BE DONE WITHIN 24 HOURS OF STOCKING AND RE-ESTABLISHED PRIOR TO ANY RAINFALL. ANY SOIL STOCKPILE WILL NOT BE PLACED (EVEN COVERED WITH HAY OR STRAW) WITHIN 100 FEET FROM ANY NATURAL RESOURCES.
- NATURAL RESOURCES PROTECTION:**  
 ANY AREAS WITHIN 100 FEET FROM ANY NATURAL RESOURCES, IF NOT STABILIZED WITH A MINIMUM OF 75% MATURE VEGETATION CATCH, SHALL BE MULCHED USING TEMPORARY MULCHING (AS DESCRIBED IN PART 1. OF THIS SECTION) WITHIN 7 DAYS OF EXPOSURE OR PRIOR TO ANY STORM EVENT. SEDIMENT BARRIERS (AS DESCRIBED IN PART 4. OF THIS SECTION) SHALL BE PLACED BETWEEN ANY NATURAL RESOURCES AND THE DISTURBED AREA.  
 PROJECTS CROSSING THE NATURAL RESOURCE SHALL BE PROTECTED A MINIMUM DISTANCE OF 100 FEET ON EITHER SIDE FROM THE RESOURCE.
- SEDIMENT BARRIERS:**  
 PRIOR TO THE BEGINNING OF ANY CONSTRUCTION, SEDIMENT BARRIERS SHALL BE STAKED ACROSS THE SLOPE(S), ON THE CONTOUR AT OR JUST BELOW THE LIMITS OF CLEARING OR GRUBBING, AND/OR JUST ABOVE ANY ADJACENT PROPERTY LINE OR WATERCOURSE TO PROTECT AGAINST CONSTRUCTION RELATED EROSION. SEDIMENT BARRIERS SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL ALL EXPOSED SLOPES HAVE AT LEAST 85%-90% VIGOROUS PERENNIAL VEGETATIVE COVER TO PREVENT EROSION.  
**SILT FENCE:** SHALL BE INSTALLED PER THE DETAIL ON THE PLANS. THE EFFECTIVE HEIGHT OF THE FENCE SHALL NOT EXCEED 36 INCHES. IT IS RECOMMENDED THAT SILT FENCE BE REMOVED BY CUTTING THE FENCE MATERIALS AT GROUND LEVEL SO AS TO AVOID ADDITIONAL SOIL DISTURBANCE.  
**HAY BALES:** SHALL BE INSTALLED PER THE DETAIL ON THE PLANS. BALES SHALL BE WIRE-BOUND OR STRING-TIED AND THESE BINDINGS MUST REMAIN PARALLEL WITH THE GROUND SURFACE DURING INSTALLATION TO PREVENT DETACHMENT OF THE BINDINGS. BALES SHALL BE INSTALLED WITH A MINIMUM 4 INCH DEEP TRENCH LINE WITH ENDS OF ADJACENT BALES TIGHTLY ABUTTING ONE ANOTHER.  
**EROSION CONTROL MIX:** SHALL BE INSTALLED PER THE DETAIL ON THE PLANS. THE MIX SHALL CONSIST PRIMARILY OF ORGANIC MATERIAL AND CONTAIN A WELL-GRADED MIXTURE OF PARTICLE SIZES AND MAY CONTAIN ROCKS LESS THAN 4 INCHES IN DIAMETER. THE MIX COMPOSITION SHALL MEET THE STANDARDS DESCRIBED WITHIN THE MDEP BEST MANAGEMENT PRACTICES. NO TRENCHING IS REQUIRED FOR INSTALLATION OF THIS BARRIER.  
**CONTINUOUS CONTAINED BERM:** SHALL BE INSTALLED PER THE DETAIL ON THE PLANS. THIS SEDIMENT BARRIER IS EROSION CONTROL MIX PLACED WITHIN A SYNTHETIC TUBULAR NETTING AND BEHIND A STURDY SEDIMENT BARRIER THAT WORKS WELL ON HARD GROUND SUCH AS FROZEN CONDITIONS, TRAVELED AREAS OR PAVEMENT. NO TRENCHING IS REQUIRED FOR INSTALLATION OF THIS BARRIER.
- TEMPORARY CHECK DAMS:**  
 SHALL BE INSTALLED PER THE DETAIL ON THE PLANS. CHECK DAMS ARE TO BE PLACED WITHIN DITCHES/ SWALES AS SPECIFIED ON THE DESIGN PLANS IMMEDIATELY AFTER FINAL GRADING. CHECK DAMS SHALL BE 2 FEET HIGH. TEMPORARY CHECK DAMS MAY BE REMOVED ONLY AFTER THE ROADWAYS ARE PAVED AND THE VEGETATED SWALE ARE ESTABLISHED WITH AT LEAST 85%-90% OF VIGOROUS PERENNIAL GROWTH. THE AREA BENEATH THE CHECK DAM MUST BE SEEDED AND MULCHED IMMEDIATELY AFTER REMOVAL OF THE CHECK DAM.  
**STONE CHECK DAMS:** SHOULD BE CONSTRUCTED OF 2 TO 3 INCH STONE AND PLACED SUCH THAT COMPLETE COVERAGE OF THE SWALE IS OBTAINED AND THAT THE CENTER OF THE DAM IS 6 INCHES LOWER THAN THE OUTER EDGES.  
**HAY BALE CHECK DAMS:** WE DO NOT RECOMMEND THE USE OF HAY BALES AS CHECK DAMS.  
**MANUFACTURED CHECK DAMS:** MANUFACTURED CHECK DAMS, AS SPECIFIED IN THE DETAIL ON THE PLANS, MAY BE USED IF AUTHORIZED BY THE PROPER LOCAL, STATE OR FEDERAL REGULATING AGENCIES. THESE UNITS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- STORMDRAIN INLET PROTECTION:**  
 INLET PROTECTION SHALL BE PLACED AROUND A STORMDRAIN DROP INLET OR CURB INLET PRIOR TO PERMANENT STABILIZATION OF THE IMMEDIATE AND UPSTREAM DISTURBED AREAS. THEY SHALL BE CONSTRUCTED IN A MANNER THAT WILL FACILITATE CLEAN-OUT AND DISPOSAL OF TRAPPED SEDIMENTS AND MINIMIZE INTERFERENCE WITH CONSTRUCTION ACTIVITIES. ANY RESULTANT PONDING OF WATER FROM THE PROTECTION METHOD MUST NOT CAUSE EXCESSIVE INCONVENIENCE OR DAMAGE TO ADJACENT AREAS OR STRUCTURES.  
**HAY BALE DROP INLET PROTECTION:** WE DO NOT RECOMMEND THE USE OF HAY BALES AS INLET PROTECTION.  
**CONCRETE BLOCK AND STONE INLET SEDIMENT FILTER (DROP OR CURB INLET):** SHALL BE INSTALLED PER THE DETAIL ON THE PLANS. THE HEIGHT OF THE CONCRETE BLOCK BARRIER CAN VARY BUT MUST BE BETWEEN 12 AND 24 INCHES TALL. A MINIMUM OF 1 INCH CRUSHED STONE SHALL BE USED.  
**MANUFACTURED SEDIMENT BARRIERS AND FILTER (DROP OR CURB INLET):** MANUFACTURED FILTERS, AS SPECIFIED IN THE DETAIL ON THE PLANS, MAY BE USED IF INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- STABILIZED CONSTRUCTION ENTRANCE/EXIT:**  
 PRIOR TO CLEARING AND/OR GRUBBING THE SITE A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE CONSTRUCTED WHEREVER TRAFFIC WILL EXIT THE CONSTRUCTION SITE IN ORDER TO MINIMIZE THE TRACKING OF SEDIMENT AND DEBRIS FROM THE CONSTRUCTION SITE ONTO PUBLIC ROADWAYS. THE ENTRANCES AND ADJACENT ROADWAY AREAS SHALL BE PERIODICALLY SWEEP OR WASHED TO FURTHER MINIMIZE THE TRACKING OF MUD, DUST OR DEBRIS FROM THE CONSTRUCTION AREA. STABILIZED CONSTRUCTION EXITS SHALL BE CONSTRUCTED IN AREAS SPECIFIED ON THE PLANS AND AS DETAILED ON THE PLANS.
- DUST CONTROL:**  
 DUST CONTROL DURING CONSTRUCTION SHALL BE ACHIEVED BY THE USE OF A WATERING TRUCK TO PERIODICALLY SPRINKLE THE EXPOSED ROADWAY AREAS AS NECESSARY TO REDUCE DUST DURING THE DRY MONTHS. APPLYING OTHER DUST CONTROL PRODUCTS SUCH AS CALCIUM CHLORIDE OR OTHER MANUFACTURED PRODUCTS ARE ALLOWED IF AUTHORIZED BY THE PROPER LOCAL, STATE AND/OR FEDERAL REGULATING AGENCIES. HOWEVER, IT IS THE CONTRACTOR'S ULTIMATE RESPONSIBILITY TO MITIGATE DUST AND SOIL LOSS FROM THE SITE.
- TEMPORARY VEGETATION:**  
 TEMPORARY VEGETATION SHALL BE APPLIED TO DISTURBED AREAS THAT WILL NOT RECEIVE FINAL GRADING FOR PERIODS UP TO 12 MONTHS. THIS PROCEDURE SHOULD BE USED EXTENSIVELY IN AREAS ADJACENT TO NATURAL RESOURCES. SEEDBED PREPARATION AND APPLICATION OF SEED SHALL BE CONDUCTED AS INDICATED IN THE PERMANENT VEGETATION SECTION OF THIS NARRATIVE. SPECIFIC SEEDS (FAST GROWING AND SHORT LIVING) SHALL BE SELECTED FROM THE MAINE EROSION AND SEDIMENT CONTROL BMP MANUAL DATED 3/2003 OR LATER. ALTERNATIVE EROSION CONTROL MEASURES SHOULD BE USED IF SEEDING CAN NOT BE DONE BEFORE SEPTEMBER 15TH OF THE CONSTRUCTION YEAR.
- PERMANENT VEGETATION:**  
 REVEGETATION MEASURES SHALL COMMENCE IMMEDIATELY UPON COMPLETION OF FINAL GRADING OF AREAS TO BE LOAMED AND SEEDED. THE APPLICATION OF SEED SHALL BE CONDUCTED BETWEEN APRIL 1ST AND OCTOBER 1ST OF THE CONSTRUCTION YEAR. PLEASE REFER TO THE WINTER EROSION CONTROL NOTES FOR MORE DETAIL. REVEGETATION MEASURES SHALL CONSIST OF THE FOLLOWING:

## SEEDBED PREPARATION.

- FOUR (4) INCHES OF LOAM SHALL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE. LOAM SHALL BE FREE OF SUBSOIL, CLAY LUMPS, STONES AND OTHER OBJECTS OVER 2 INCHES OR LARGER IN ANY DIMENSION, AND WITHOUT WEEDS, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
- SOILS TESTS SHALL BE TAKEN AT THE TIME OF SOIL STRIPPING TO DETERMINE FERTILIZATION REQUIREMENTS. SOILS TESTS SHALL BE TAKEN PROMPTLY AS TO NOT INTERFERE WITH THE 14-DAY LIMIT ON SOIL EXPOSURE. BASED UPON TEST RESULTS, SOIL AMENDMENTS SHALL BE INCORPORATED INTO THE SOIL PRIOR TO FINAL SEEDING. IN LIEU OF SOIL TESTS, SOIL AMENDMENTS MAY BE APPLIED AS FOLLOWS:
 

ITEM	APPLICATION RATE
10-20-20 FERTILIZER (N-P205-K20 OR EQUAL)	18.4 LBS./1,000 S.F.
GROUND LIMESTONE (50% CALCIUM & MAGNESIUM OXIDE)	138 LBS./1,000 S.F.
- WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH PROPER EQUIPMENT. ROLL THE AREA TO FIRM THE SEEDBED EXCEPT ON CLAY OR SILTY SOILS OR COARSE SAND.

- APPLICATION OF SEED:**
- SEEDING SHALL BE CONDUCTED BETWEEN APRIL 1ST AND OCTOBER 1ST OF THE CONSTRUCTION YEAR. GENERALLY A SEED MIXTURE MAY BE APPLIED AS FOLLOWS: (MDEP SEED MIX 2 IS DISPLAYED)
 

SEED TYPE	APPLICATION RATE
CREeping RED FESCUE	0.46 LBS./1,000 S.F. (20 LBS./ACRE)
REDTOP	0.05 LBS./1,000 S.F. ( 2 LBS./ACRE)
TALL FESCUE	0.46 LBS./1,000 S.F. (20 LBS./ACRE)
TOTAL:	0.97 LBS./1,000 S.F. (42 LBS./ACRE)
  - NOTE: A SPECIFIC SEED MIXTURE SHOULD BE CHOSEN TO MATCH THE SOILS CONDITION OF THE SITE. VARIOUS AGENCIES CAN RECOMMEND SEED MIXTURES. MDEP RECOMMENDED SEED MIXTURES ARE IN THE EROSION AND SEDIMENT CONTROL BMP MANUAL DATED 3/2003 OR LATER.
  - HYDROSEEDING: SHALL BE CONDUCTED ON PREPARED AREAS WITH SLOPES LESS THAN 2:1. LIME AND FERTILIZER MAY BE APPLIED SIMULTANEOUSLY WITH THE SEED. RECOMMENDED SEEDING RATES MUST BE INCREASED BY 10% WHEN HYDROSEEDING.
  - MULCHING: SHALL COMMENCE IMMEDIATELY AFTER SEED IS APPLIED. REFER TO THE TEMPORARY MULCHING SECTION OF THIS NARRATIVE FOR DETAILS.

## SODDING:

FOLLOWING SEEDBED PREPARATION, SOD CAN BE APPLIED IN LIEU OF SEEDING IN AREAS WHERE IMMEDIATE VEGETATION IS MOST BENEFICIAL SUCH AS DITCHES, AROUND STORMWATER DROP INLETS AND AREAS OF AESTHETIC VALUE. SOD SHOULD BE LAID AT RIGHT ANGLES TO THE DIRECTION OF FLOW, STARTING AT THE CONSTRUCTION ELEVATION. SOD SHOULD BE ROLLED OR TAMPED DOWN TO EVEN OUT THE JOINTS ONCE LAID DOWN. WHERE FLOW IS PREVALENT THE SOD MUST BE PROPERLY ANCHORED DOWN. IRRIGATE THE SOD IMMEDIATELY AFTER INSTALLATION. IN MOST CASES, SOD CAN BE ESTABLISHED BETWEEN APRIL 1ST AND NOVEMBER 15TH OF THE CONSTRUCTION YEAR, HOWEVER, REFER TO THE WINTER EROSION CONTROL NOTES FOR ANY ACTIVITIES AFTER OCTOBER 1ST.

## TRENCH DEWATERING AND TEMPORARY STREAM DIVERSION.

WATER FROM CONSTRUCTION TRENCH DEWATERING OR TEMPORARY STREAM DIVERSION WILL PASS FIRST THROUGH A FILTER BAG OR SECONDARY CONTAINMENT STRUCTURE (E.G. HAY BALE LINED POOL) PRIOR TO DISCHARGE. THE DISCHARGE SITE SHALL BE SELECTED TO AVOID FLOODING AND SEDIMENT DISCHARGES TO A PROTECTED RESOURCE. IN NO CASE SHALL THE FILTER BAG OR CONTAINMENT STRUCTURE BE LOCATED WITHIN 100 FEET OF A PROTECTED NATURAL RESOURCE.

## STANDARDS FOR TIMELY STABILIZATION:

**STANDARD FOR THE TIMELY STABILIZATION OF DISTURBED SLOPES --** THE CONTRACTOR WILL CONSTRUCT AND STABILIZE STONE-COVERED SLOPES BY NOVEMBER 15. THE CONTRACTOR WILL SEED AND MULCH ALL SLOPES TO BE VEGETATED BY SEPTEMBER 15. THE MDEP WILL CONSIDER ANY AREA HAVING A GRADE GREATER THAN 15% (6.67H:1V) TO BE A SLOPE. IF THE CONTRACTOR FAILS TO STABILIZE ANY SLOPE TO BE VEGETATED BY SEPTEMBER 15, THEN THE CONTRACTOR WILL TAKE ONE OF THE FOLLOWING ACTIONS TO STABILIZE THE SLOPE FOR LATE FALL AND WINTER.

- STABILIZE THE SOIL WITH TEMPORARY VEGETATION AND EROSION CONTROL MATS -- BY OCTOBER 1 THE CONTRACTOR WILL SEED THE DISTURBED SLOPE WITH WINTER RYE AT A SEEDING RATE OF 3 POUNDS PER 1,000 SQUARE FEET AND APPLY EROSION CONTROL MATS OVER THE MULCHED SLOPE. THE CONTRACTOR WILL MONITOR GROWTH OF THE RYE OVER THE NEXT 30 DAYS. IF THE RYE FAILS TO GROW AT LEAST THREE INCHES OR COVER AT LEAST 75% OF THE DISTURBED SLOPE BY NOVEMBER 1, THEN THE APPLICANT WILL COVER THE SLOPE WITH A LAYER OF WOOD WASTE COMPOST AS DESCRIBED IN ITEM 2(C) OF THIS STANDARD OR WITH STONE RIPRAP AS DESCRIBED IN ITEM 2(D) OF THIS STANDARD.
- STABILIZE THE SOIL WITH SOD -- THE CONTRACTOR WILL STABILIZE THE DISTURBED SLOPE WITH PROPERLY INSTALLED SOD BY NOVEMBER 15. PROPER INSTALLATION INCLUDES THE APPLICANT PINNING THE SOD ONTO THE SLOPE WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, AND WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL. THE APPLICANT WILL NOT USE LATE-SEASON SOD INSTALLATION TO STABILIZE SLOPES HAVING A GRADE GREATER THAN 33% (3H:1V).
- STABILIZE THE SLOPE WITH WOOD WASTE COMPOST -- THE CONTRACTOR WILL PLACE A SIX-INCH LAYER OF WOOD WASTE COMPOST ON THE SLOPE BY NOVEMBER 15. PRIOR TO PLACING THE WOOD WASTE COMPOST, THE APPLICANT WILL REMOVE ANY SNOW ACCUMULATION ON THE DISTURBED SLOPE. THE APPLICANT WILL NOT USE WOOD WASTE COMPOST TO STABILIZE SLOPES HAVING GRADES GREATER THAN 50% (2H:1V) OR HAVING GROUNDWATER SEEPS ON THE SLOPE FACE.
- STABILIZE THE SLOPE WITH STONE RIPRAP -- THE CONTRACTOR WILL PLACE A LAYER OF STONE RIPRAP ON THE SLOPE BY NOVEMBER 15. THE APPLICANT WILL HIRE A REGISTERED PROFESSIONAL ENGINEER TO DETERMINE THE STONE SIZE NEEDED FOR STABILITY AND TO DESIGN A FILTER LAYER FOR UNDERNEATH THE RIPRAP.

**STANDARD FOR THE TIMELY STABILIZATION OF DISTURBED SOILS --** BY SEPTEMBER 15 THE CONTRACTOR WILL SEED AND MULCH ALL DISTURBED SOILS ON AREAS HAVING A SLOPE LESS THAN 15%. IF THE CONTRACTOR FAILS TO STABILIZE THESE SOILS BY THIS DATE, THEN THE CONTRACTOR WILL TAKE ONE OF THE FOLLOWING ACTIONS TO STABILIZE THE SOIL FOR LATE FALL AND WINTER.

- STABILIZE THE SOIL WITH TEMPORARY VEGETATION -- BY OCTOBER 1 THE CONTRACTOR WILL SEED THE DISTURBED SOIL WITH WINTER RYE AT A SEEDING RATE OF 3 POUNDS PER 1000 SQUARE FEET, LIGHTLY MULCH THE SEEDED SOIL WITH HAY OR STRAW AT 75 POUNDS PER 1000 SQUARE FEET, AND ANCHOR THE MULCH WITH PLASTIC NETTING. THE APPLICANT WILL MONITOR GROWTH OF THE RYE OVER THE NEXT 30 DAYS. IF THE RYE FAILS TO GROW AT LEAST THREE INCHES OR COVER AT LEAST 75% OF THE DISTURBED SOIL BEFORE NOVEMBER 15, THEN THE APPLICANT WILL MULCH THE AREA FOR OVER-WINTER PROTECTION AS DESCRIBED IN ITEM 3(C) OF THIS STANDARD.
- STABILIZE THE SOIL WITH SOD -- THE APPLICANT WILL STABILIZE THE DISTURBED SOIL WITH PROPERLY INSTALLED SOD BY OCTOBER 1. PROPER INSTALLATION INCLUDES THE APPLICANT PINNING THE SOD ONTO THE SOIL WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, AND WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL.
- STABILIZE THE SOIL WITH MULCH -- BY NOVEMBER 15 THE APPLICANT WILL MULCH THE DISTURBED SOIL BY SPREADING HAY OR STRAW AT A RATE OF AT LEAST 150 POUNDS PER 1000 SQUARE FEET ON THE AREA SO THAT NO SOIL IS VISIBLE THROUGH THE MULCH. PRIOR TO APPLYING THE MULCH, THE APPLICANT WILL REMOVE ANY SNOW ACCUMULATION ON THE DISTURBED AREA. IMMEDIATELY AFTER APPLYING THE MULCH, THE APPLICANT WILL ANCHOR THE MULCH WITH PLASTIC NETTING TO PREVENT WIND FROM MOVING THE MULCH OFF THE DISTURBED SOIL.

## CONSTRUCTION SCHEDULE

SITE IMPROVEMENTS WILL MOST LIKELY BEGIN IN SUMMER 2016 DEPENDING UPON FINAL PROJECT APPROVAL. THE FOLLOWING SCHEDULE IS ANTICIPATED FOR THE CONSTRUCTION OF THE MILLBROOKE FARM CONDOMINIUM ROADWAY IMPROVEMENTS.

SCHEDULE	
1. ESTIMATED CONSTRUCTION TIME:	3 MONTHS
*2. EROSION CONTROL MEASURES PLACED.	WEEK 1 - WEEK 2
3. SITE CLEARING AND GRUBBING.	WEEK 2 - WEEK 5
4. CONSTRUCTION OF ROAD SUBBASE FOR ACCESS.	WEEK 5 - WEEK 13
5. UTILITY IMPROVEMENTS AND ROADWAY CONSTRUCTION.	WEEK 5 - WEEK 12
6. MULCH SPREAD FOR WINTER EROSION CONTROL.	NOVEMBER OF CONSTRUCTION YEAR
7. START FINAL SEEDING ON PREPARED AREAS. (DURING GROWING SEASON.)	WEEK 10
*9. BIWEEKLY MONITORING OF VEGETATIVE GROWTH.	WEEK 12
*10. RE-SEEDING OF AREAS, IF NEEDED.	WEEK 12
*11. REMOVAL OF EROSION CONTROL DEVICES.	UPON FINAL PROJECT COMPLETION

\* HOME CONSTRUCTION ON INDIVIDUAL LOTS MAY BEGIN ONCE THE ROADWAY BASE HAS BEEN SUFFICIENTLY CONSTRUCTED TO ALLOW VEHICLE ACCESS TO THE LOT(S). HOME CONSTRUCTION MAY CONTINUE BEFORE ESTIMATED COMPLETION DATE FOR ROADWAY CONSTRUCTION. DISTURBED AREAS ON INDIVIDUAL LOTS SHALL ALSO BE SUBJECT TO THE EROSION AND SEDIMENTATION CONTROL PROVISIONS CONTAINED HEREIN.

\*\* DATES ARE SUBJECT TO CHANGE AT THE DISCRETION OF THE ENGINEER, DEPENDING ON CONSTRUCTION PROGRESS.

## INSPECTIONS/MONITORING.

- MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. AFTER EACH RAINFALL, SNOW STORM OR PERIOD OF THAWING AND RUNOFF, OR AT LEAST EVERY SEVEN (7) DAYS, THE CONTRACTOR SHALL PERFORM A VISUAL INSPECTION OF ALL INSTALLED EROSION CONTROL MEASURES. THE CONTRACTOR SHALL PERFORM REPAIRS AS NEEDED TO ALLOW CONTINUED PROPER FUNCTIONING OF EROSION CONTROL MEASURES. THE CONTRACTOR SHALL PROVIDE THE NECESSARY REGULATING AGENCIES WITH WRITTEN DOCUMENTATION DESCRIBING DATES OF INSPECTIONS AND NECESSARY FOLLOW-UP WORK TO MAINTAIN EROSION CONTROL MEASURES MEETING THE REQUIREMENTS OF THIS PLAN.
- FOLLOWING THE TEMPORARY AND/OR FINAL SEEDINGS, THE CONTRACTOR SHALL INSPECT THE WORK AREA SEMIMONTHLY UNTIL THE SEEDINGS HAVE BEEN ESTABLISHED. ESTABLISHED MEANS A MINIMUM OF 85%-90% OF AREAS VEGETATED WITH VIGOROUS GROWTH. RESEEDING SHALL BE CARRIED OUT BY THE CONTRACTOR WITH FOLLOW-UP INSPECTIONS IN THE EVENT OF ANY FAILURES UNTIL VEGETATION IS ADEQUATELY ESTABLISHED.

# WINTER EROSION CONTROL MEASURES

THE WINTER CONSTRUCTION PERIOD IS FROM OCTOBER 1 THROUGH APRIL 15. IF THE CONSTRUCTION SITE IS NOT STABILIZED WITH PAVEMENT, A ROAD GRAVEL BASE, 75% MATURE VEGETATION COVER OR RIPRAP BY NOVEMBER 15 THEN THE SITE NEEDS TO BE PROTECTED WITH OVER-WINTER STABILIZATION. AN AREA CONSIDERED OPEN IS ANY AREA NOT STABILIZED WITH PAVEMENT, VEGETATION, MULCHING, EROSION CONTROL MATS, RIPRAP OR GRAVEL BASE ON A ROAD.

WINTER EXCAVATION AND EARTHWORK SHALL BE COMPLETED SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME. LIMIT THE EXPOSED AREA TO THOSE AREAS IN WHICH WORK IS EXPECTED TO BE UNDER TAKEN DURING THE PROCEEDING 15 DAYS AND THAT CAN BE MAINTAINED IN ONE RYEROR LINE OF SEDIMENT BARRIERS (E.G. SILT FENCE BACKED WITH HAY BALES OR EROSION CONTROL MIX) WILL BE PLACED BETWEEN ANY NATURAL RESOURCE AND THE DISTURBED AREA. PROJECTS CROSSING THE NATURAL RESOURCE SHALL BE PROTECTED A MINIMUM DISTANCE OF 100 FEET ON EITHER SIDE FROM THE RESOURCE. EXISTING PROJECTS NOT STABILIZED BY DECEMBER 1 SHALL BE PROTECTED WITH THE SECOND LINE OF SEDIMENT BARRIER TO ENSURE FUNCTIONALITY DURING THE SPRING THAW AND RAINS.

- SOIL STOCKPILES  
 STOCKPILES OF SOIL OR SUBSOIL WILL BE MULCHED FOR OVER WINTER PROTECTION WITH HAY OR STRAW AT A RATE OF 75 LBS/1,000 S.F. (1.5 TONS PER ACRE) OR WITH A FOUR-INCH LAYER OF WOOD WASTE EROSION CONTROL MIX. THIS WILL BE DONE WITHIN 24 HOURS OF STOCKING AND RE-ESTABLISHED PRIOR TO ANY RAINFALL OR SNOWFALL. ANY SOIL STOCKPILE WILL NOT BE PLACED (EVEN COVERED WITH HAY OR STRAW) WITHIN 100 FEET FROM ANY NATURAL RESOURCES.
- NATURAL RESOURCES PROTECTION  
 ANY AREAS WITHIN 100 FEET FROM ANY NATURAL RESOURCES, IF NOT STABILIZED WITH A MINIMUM OF 75% MATURE VEGETATION CATCH, SHALL BE MULCHED BY DECEMBER 1 AND ANCHORED WITH PLASTIC NETTING OR PROTECTED WITH EROSION CONTROL MATS. DURING WINTER CONSTRUCTION, A DOUBLE LINE OF SEDIMENT BARRIERS (E.G. SILT FENCE BACKED WITH HAY BALES OR EROSION CONTROL MIX) WILL BE PLACED BETWEEN ANY NATURAL RESOURCE AND THE DISTURBED AREA. PROJECTS CROSSING THE NATURAL RESOURCE SHALL BE PROTECTED A MINIMUM DISTANCE OF 100 FEET ON EITHER SIDE FROM THE RESOURCE. EXISTING PROJECTS NOT STABILIZED BY DECEMBER 1 SHALL BE PROTECTED WITH THE SECOND LINE OF SEDIMENT BARRIER TO ENSURE FUNCTIONALITY DURING THE SPRING THAW AND RAINS.
- SEDIMENT BARRIERS  
 DURING FROZEN CONDITIONS, SEDIMENT BARRIERS SHALL CONSIST OF WOOD WASTE FILTER BERMS AS FROZEN SOIL PREVENTS THE PROPER INSTALLATION OF HAY BALES AND SEDIMENT SILT FENCES.
- MULCHING  
 ALL AREA SHALL BE CONSIDERED TO BE DENIED UNTIL AREAS OF FUTURE LOAM AND SEED HAVE BEEN LOAMED, SEEDED AND MULCHED. HAY AND STRAW MULCH SHALL BE APPLIED AT A RATE OF 150 LBS PER 1,000 SQUARE FEET OR 3 TONS PER ACRE (TWO TIMES THE NORMAL ACCEPTED RATE OF 75-LBS./1,000 S.F. OR 1.5 TONS/ACRE) AND SHALL BE PROPERLY ANCHORED. MULCH SHALL NOT BE SPREAD ON TOP OF SNOW. THE SNOW WILL BE REMOVED DOWN TO A ONE-INCH DEPTH OR LESS PRIOR TO APPLICATION. AFTER EACH DAY OF FINAL GRADING, THE AREA WILL BE PROPERLY STABILIZED WITH ANCHORED HAY OR STRAW OR EROSION CONTROL MATTING. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR HAY AT A RATE OF 150 LB. PER 1,000 SQUARE FEET (3 TONS/ACRE) AND ADEQUATELY ANCHORED THAT GROUND SURFACE IS NOT VISIBLE THROUGH THE MULCH.

BETWEEN THE DATES OF SEPTEMBER 1 AND APRIL 15, ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING, ASPHALT EMULSION CHEMICAL, TRACK OR WOOD CELLULOSE FIBER. WHEN GROUND SURFACE IS NOT VISIBLE THROUGH THE MULCH THEN COVER IS SUFFICIENT. AFTER NOVEMBER 1ST, MULCH AND ANCHORING OF ALL BARE SOIL SHALL OCCUR AT THE END OF EACH FINAL GRADING WORK DAY.

SLOPES SHALL NOT BE LEFT EXPOSED FOR ANY EXTENDED TIME OF WORK SUSPENSION UNLESS FULLY MULCHED AND ANCHORED WITH PEG AND NETTING OR WITH EROSION CONTROL BLANKETS. MULCHING SHALL BE APPLIED AT A RATE OF 230 LBS/1,000 S.F. ON ALL SLOPES GREATER THAN 8%.

MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPES EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES.

MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPES EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES. EROSION CONTROL BLANKETS SHALL BE USED IN LIEU OF MULCH IN ALL DRAINAGE WAYS WITH SLOPES 8%.

EROSION CONTROL MIX CAN BE USED TO SUBSTITUTE EROSION CONTROL BLANKETS ON ALL SLOPES EXCEPT DITCHES.

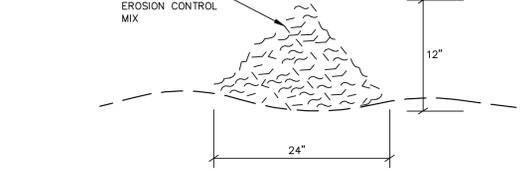
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**COMPOSITION**  
 EROSION CONTROL MIX SHALL BE MANUFACTURED ON OR OFF THE PROJECT SITE SUCH THAT ITS COMPOSITION IS IN ACCORDANCE WITH THE MDEP MAINE EROSION AND SEDIMENT CONTROL BMP MANUAL, LAST REVISED 3/2003 OR LATER. IT MUST CONSIST PRIMARILY OF ORGANIC MATERIAL, SEPARATED AT THE POINT OF GENERATION, AND MAY INCLUDE: SHREDDED BARK, STUMP GRINDINGS, COMPOSTED BARK, OR ACCEPTABLE MANUFACTURED PRODUCTS. WOOD AND BARK CHIPS SHALL BE LIMITED TO A MAXIMUM OF 1 FOOT HIGH (AS MEASURED ON THE UPHILL SIDE) AND 2 FEET WIDE FOR SLOPES LESS THAN 5% IN GRADE AND SHALL BE WIDER TO ACCOMMODATE THE ADDITIONAL RUNOFF.  
 4. EROSION CONTROL MIX CAN BE INSTALLED WHERE SILT FENCE IS ILLUSTRATED ON THE DESIGN PLANS IN AREAS EXCEPT IN, BUT NOT LIMITED TO, THE FOLLOWING AREAS: WELAND AREAS, AT POINTS OF CONCENTRATED FLOW, BELOW CULVERT OUTLET APRONS, AROUND CATCH BASINS AND CLOSED STORM SYSTEMS AND AT THE BOTTOM OF STEEP SLOPES THAT ARE MORE THAN 50 FEET FROM TOP TO BOTTOM.

## EROSION CONTROL MIX BERM

- THE BARRIER MUST BE PLACED ACROSS THE SLOPE, ALONG THE CONTOUR.
- EXISTING GROUND SHALL BE PREPARED SUCH THAT THE BARRIER MAY LIE NEARLY FLAT ALONG THE GROUND TO AVOID THE CREATION OF VOIDS AND BRIDGES IN ORDER TO MINIMIZE THE POTENTIAL OF WASH OUTS UNDER THE BARRIER.
- THE BARRIER SHALL BE A MINIMUM OF 1 FOOT HIGH (AS MEASURED ON THE UPHILL SIDE) AND 2 FEET WIDE FOR SLOPES LESS THAN 5% IN GRADE AND SHALL BE WIDER TO ACCOMMODATE THE ADDITIONAL RUNOFF.

NOT TO SCALE

(LESS THAN 75% CATCH) SHALL BE REVEGETATED BY REPLACING LOAM, SEED AND MULCH. IF DORMANT SEEDING IS NOT USED FOR THE SITE, ALL DISTURBED AREAS SHALL BE REVEGETATED IN THE SPRING.

7. TRENCH DEWATERING AND TEMPORARY STREAM DIVERSION  
 WATER FROM CONSTRUCTION TRENCH DEWATERING OR TEMPORARY STREAM DIVERSION WILL PASS FIRST THROUGH A FILTER BAG OR SECONDARY CONTAINMENT STRUCTURE (E.G. HAY BALE LINED POOL) PRIOR TO DISCHARGE. THE DISCHARGE SITE SHALL BE SELECTED TO AVOID FLOODING, ICING, AND SEDIMENT DISCHARGES TO A PROTECTED RESOURCE. IN NO CASE SHALL THE FILTER BAG OR CONTAINMENT STRUCTURE BE LOCATED WITHIN 100 FEET OF A PROTECTED NATURAL RESOURCE.

8. INSPECTION AND MONITORING  
 MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION SEASON. AFTER EACH RAINFALL, SNOW STORM OR PERIOD OF THAWING AND RUNOFF, THE SITE CONTRACTOR SHALL PERFORM A VISUAL INSPECTION OF ALL INSTALLED EROSION CONTROL MEASURES AND PERFORM REPAIRS AS NEEDED TO INSURE THEIR CONTINUOUS FUNCTION. FOLLOWING THE TEMPORARY AND/OR FINAL SEEDING AND MULCHING, THE CONTRACTOR SHALL IN THE SPRING INSPECT AND REPAIR ANY DAMAGES AND/OR UNESTABLISHED SPOTS. ESTABLISHED VEGETATIVE COVER MEANS A MINIMUM OF 85% TO 90% OF AREAS VEGETATED WITH VIGOROUS GROWTH.

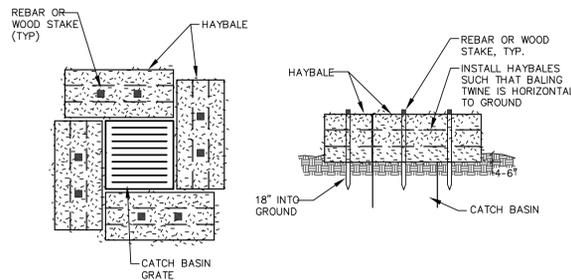
## STANDARDS FOR TIMELY STABILIZATION OF CONSTRUCTION SITES DURING WINTER

1. STANDARD FOR THE TIMELY STABILIZATION OF DITCHES AND CHANNELS -- THE APPLICANT WILL CONSTRUCT AND STABILIZE ALL STONE-LINED DITCHES AND CHANNELS ON THE SITE BY NOVEMBER 15. THE APPLICANT WILL CONSTRUCT AND STABILIZE GRASS-LINED DITCHES AND CHANNELS ON THE SITE BY SEPTEMBER 15. IF THE APPLICANT FAILS TO STABILIZE A DITCH OR CHANNEL TO BE GRASS-LINED BY SEPTEMBER 15, THEN THE APPLICANT WILL TAKE ONE OF THE FOLLOWING ACTIONS TO STABILIZE THE DITCH FOR LATE FALL AND WINTER.

1. STANDARD FOR THE TIMELY STABILIZATION OF DITCHES AND CHANNELS -- THE APPLICANT WILL CONSTRUCT AND STABILIZE ALL STONE-LINED DITCHES AND CHANNELS ON THE SITE BY NOVEMBER 15. THE APPLICANT WILL CONSTRUCT AND STABILIZE GRASS-LINED DITCHES AND CHANNELS ON THE SITE BY SEPTEMBER 15. IF THE APPLICANT FAILS TO STABILIZE A DITCH OR CHANNEL TO BE GRASS-LINED BY SEPTEMBER 15, THEN THE APPLICANT WILL TAKE ONE OF THE FOLLOWING ACTIONS TO STABILIZE THE DITCH FOR LATE FALL AND WINTER.

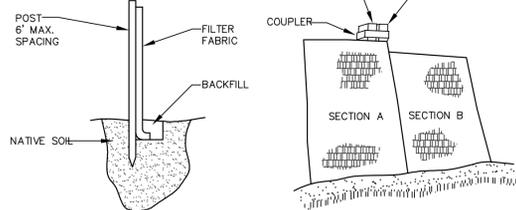
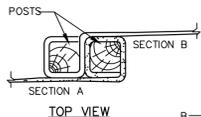
2. STANDARD FOR THE TIMELY STABILIZATION OF DISTURBED SLOPES -- THE APPLICANT WILL CONSTRUCT AND STABILIZE STONE-COVERED SLOPES BY NOVEMBER 15. THE APPLICANT WILL SEED AND MULCH ALL SLOPES TO BE VEGETATED BY SEPTEMBER 15. THE DEPARTMENT WILL CONSIDER ANY AREA HAVING A GRADE GREATER THAN 15% (6.67H:1V) TO BE A SLOPE. IF THE APPLICANT FAILS TO STABILIZE ANY SLOPE TO BE VEGETATED BY SEPTEMBER 15, THEN THE APPLICANT WILL TAKE ONE OF THE FOLLOWING ACTIONS TO STABILIZE THE SLOPE FOR LATE FALL AND WINTER.

STABILIZE THE SOIL WITH TEMPORARY VEGETATION AND EROSION CONTROL MATS -- BY OCTOBER 1 THE APPLICANT WILL SEED THE DISTURBED SLOPE WITH WINTER RYE AT A SEEDING RATE OF 3 POUNDS PER 1000 SQUARE FEET AND APPLY EROSION CONTROL MATS OVER THE MULCHED SLOPE. THE APPLICANT WILL MONITOR GROWTH OF THE RYE OVER THE NEXT 30 DAYS. IF THE RYE FAILS TO GROW AT LEAST THREE INCHES OR COVER AT LEAST 75% OF THE DISTURBED SLOPE BY NOVEMBER 1, THEN THE APPLICANT WILL COVER THE SLOPE WITH A LAYER OF WOOD WASTE COMPOST AS DESCRIBED IN ITEM III OF THIS CONDITION OR WITH STONE RIPRAP AS DESCRIBED IN ITEM IV OF THIS CONDITION. STABILIZE THE SLOPE WITH SOD -- THE APPLICANT WILL STABILIZE THE DISTURBED SLOPE WITH PROPERLY INSTALLED SOD BY OCTOBER 1. PROPER INSTALLATION INCLUDES THE APPLICANT PINNING THE SOD ONTO THE SLOPE WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, AND WATERING THE SOD TO PROM



NOTE: INSTALL BARRIER AT EACH CATCH BASIN

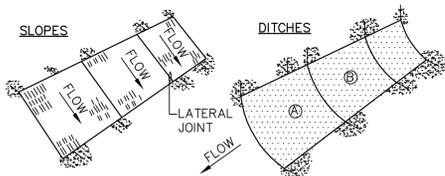
**CATCH BASIN HAYBALE BARRIER**  
NOT TO SCALE



**INSTALLATION:**

- EXCAVATE A 6"x 6" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
- UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
- DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LYING ON THE TRENCH BOTTOM.
- LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. TOE-IN CAN ALSO BE ACCOMPLISHED BY LAYING THE FABRIC FLAP ON UNDISTURBED GROUND AND PLUNG AND TAMPING FILL AT THE BASE, BUT MUST BE ACCOMPANIED BY AN INTERCEPTION DITCH.
- JOIN SECTION AS SHOWN ABOVE.
- BARRIER SHALL BE MIRAFI SILT FENCE OR EQUAL.

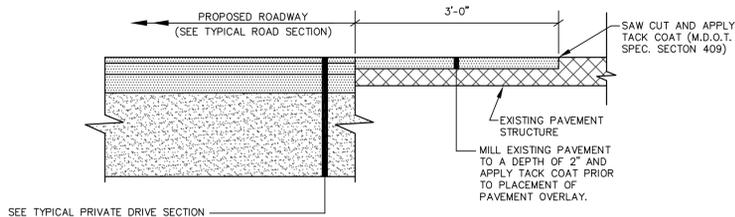
**FILTER BARRIER**  
NOT TO SCALE



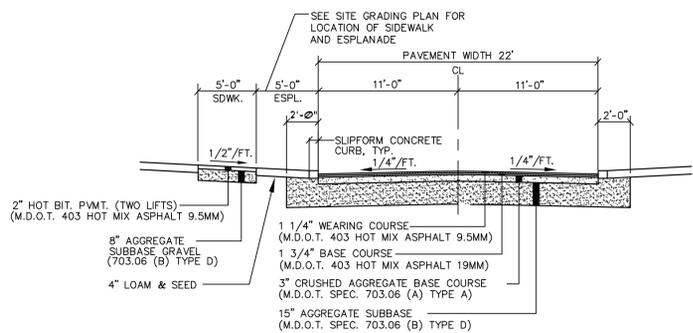
**NOTES:**

- BURY THE TOP END OF THE MESH MATERIAL IN A 6" TRENCH AND BACKFILL AND TAMP TRENCHING SECURE END WITH STAPLES AT 6" SPACING, 4" DOWN FROM EXPOSED END.
- FLOW DIRECTION JOINTS TO HAVE UPPER END OF LOWER STRIP BURIED WITH UPPER LAYERS OVERLAPPED 4" AND STAPLED. OVERLAP B OVER A.
- LATERAL JOINTS TO HAVE 4" OVERLAP OF STRIPS. STAPLE 18" ON CENTER.
- STAPLE OUTSIDE LATERAL EDGE 2" ON CENTER.
- WIRE STAPLES TO BE MIN OF #11 WRE 6" LONG AND 1-1/2" WIDE.
- USE NORTH AMERICAN GREEN DS 150 OR APPROVED EQUAL.

**EROSION CONTROL BLANKET**  
NOT TO SCALE

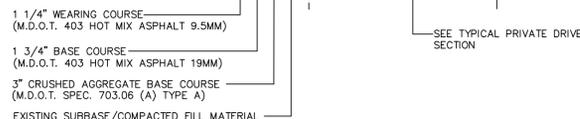
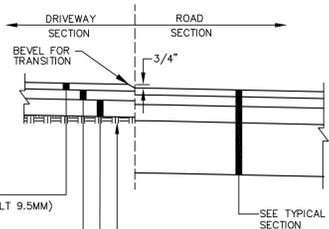


**TYPICAL PAVEMENT JOINT**  
NOT TO SCALE

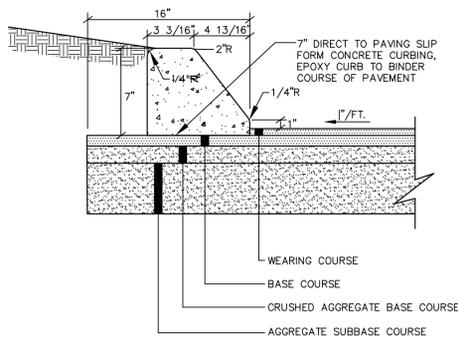


NOTE: USE 21\"/>

**TYPICAL PRIVATE DRIVE CROSS-SECTION**  
NOT TO SCALE

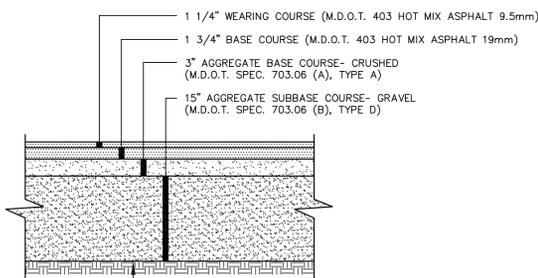


**TYPICAL BIT. DRIVEWAY APRON CONSTRUCTION**  
NOT TO SCALE



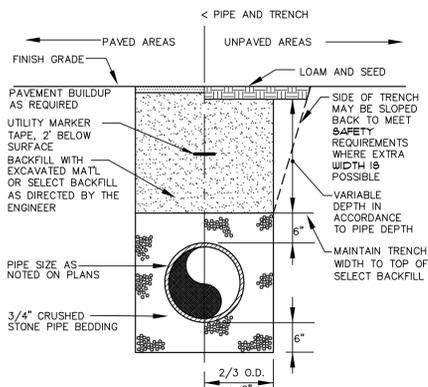
(SEE TYPICAL ROAD SECTION FOR MATERIAL SPECIFICATIONS AND DEPTHS)

**SLIPFORM CONCRETE CURB SECTION**  
NOT TO SCALE



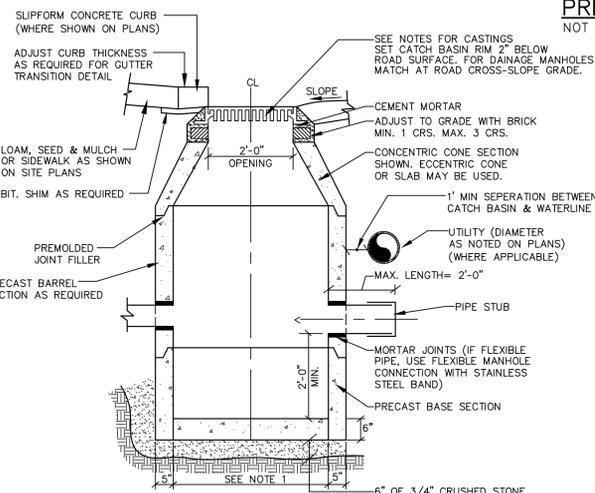
- NOTES:**
- COMPACT GRAVEL SUBBASE, BASE COURSE TO 92% OF MAXIMUM DENSITY USING HEAVY ROLLER COMPACTION.
  - CONTRACTOR SHALL SET GRADE STAKES MARKING SUBBASE AND FINISH GRADE ELEVATIONS FOR CONSTRUCTION REFERENCE.

**TYP. PAVED PARKING LOT SECTION**  
NOT TO SCALE



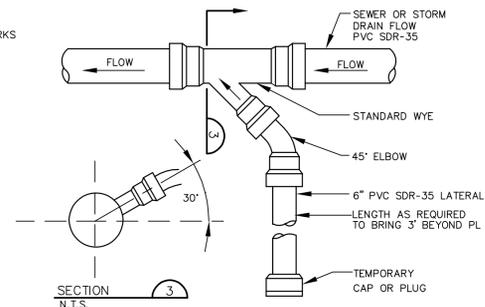
- NOTES:**
- LEDGE, IF ANY IS TO BE EXCAVATED TO A MINIMUM OF 6\"/>

**TYPICAL TRENCH SECTION**  
NOT TO SCALE



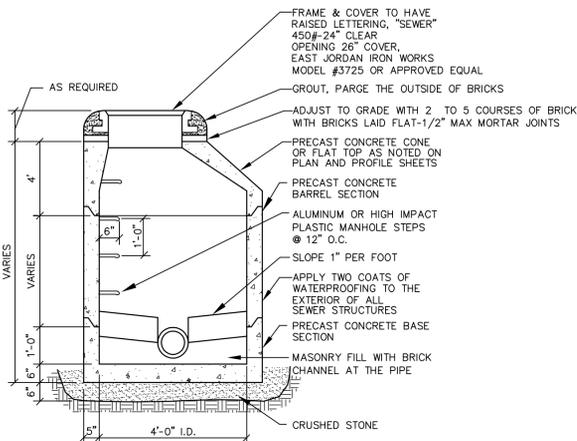
- NOTES:**
- 4'-0\"/>

**TYPICAL DRAINAGE STRUCTURE**  
NOT TO SCALE



- NOTES:**
- INSTALL BACKFLOW VALVE WITH RUBBER SEAL IN EACH FOUNDATION DRAIN SERVICE.
  - IF SUMP PUMP IS UTILIZED INSTALL CHECK VALVE AT SUMP PUMP.
  - UNDER NO CIRCUMSTANCE SHALL A FOUNDATION DRAIN DISCHARGE INTO A SANITARY SEWER OR LATER.
  - ALL SANITARY SEWER SERVICES SHALL HAVE A MINIMUM OF A 2% SLOPE PER THE WELLS SANITARY DISTRICT STANDARDS.
  - INSTALL 2\"/>

**SEWER / FOUNDATION DRAIN SERVICE CONNECTION**  
NOT TO SCALE



- NOTES:**
- PIPE CONNECTIONS SHALL BE WATER TIGHT FLEXIBLE BOOT CONNECTORS PROVIDES LEAKPROOF CONNECTION.
  - USE FLAT SLAB TOP MANHOLE WHEN THE DIFFERENCE BETWEEN INVERT AND RIM IS LESS THAN 6\"/>

**PRECAST SEWER MANHOLE**  
NOT TO SCALE

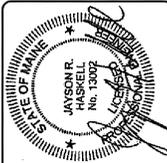
DESIGNED	CHECKED
CCA	JRH
B. JRH 12-22-15 REVISED PER WELLS SANITARY DISTRICT REVIEW COMMENTS	
A. JRH 11/13/15 SUBMITTED TO TOWN FOR SITE PLAN REVIEW	
REV. BY:	DATE: STATUS:
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.	

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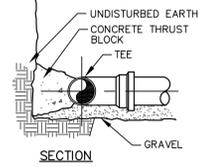
**DETAILS OF:** MILLBROOKE FARM CONDOMINIUMS AT RIVERBEND WOODS  
WILLOW WAY WELLS, MAINE  
**FOR:** KASPRZAK LANDHOLDINGS, INC.  
P.O. BOX 26 NORTH WATERBORO, MAINE 04061

PROJECT NO.	SCALE
04426	NTS
SHEET 17 OF 18	

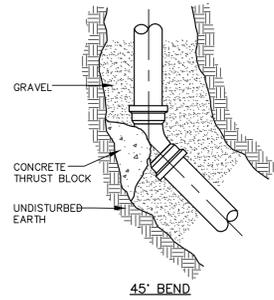
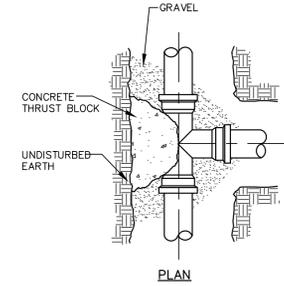
JAYSON R. HASKELL, PE 13002



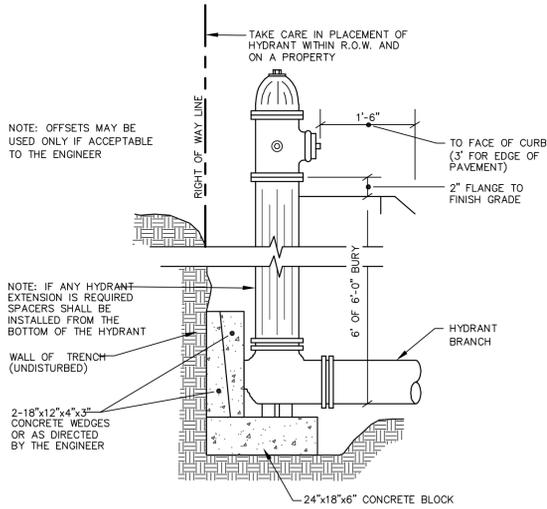
04426-PR36-D-049-1A5-D2



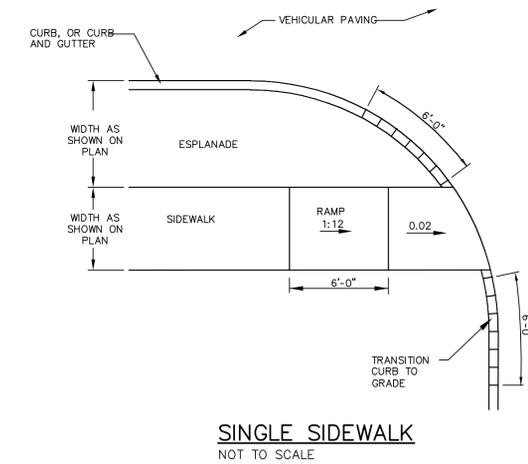
FITTINGS	CONCRETE THRUST BLOCK SIZE REQUIREMENTS		
	90° BENDS	45° BENDS	TEES AND PLUGS
PIPE SIZE			
6"	4.0	2.0	3.0
8"	8.0	4.0	6.0
12"	15	10	10



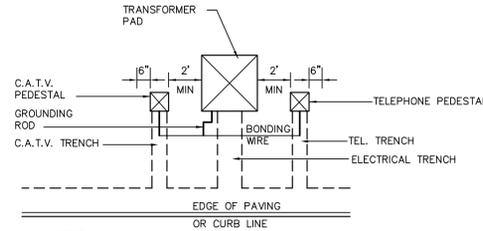
**TEE & BEND DETAIL**  
NOT TO SCALE



**TYP. HYDRANT BLOCKING & REPLACEMENT**  
NOT TO SCALE

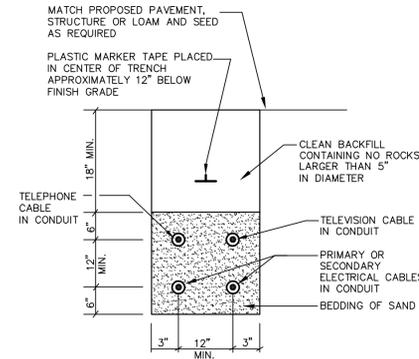


**SINGLE SIDEWALK**  
NOT TO SCALE



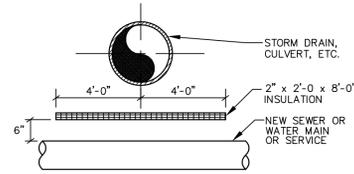
- NOTES:**
1. TRANSFORMER PAD AND COVER TO BE FIBERGLASS MEETING CENTRAL MAINE POWER COMPANY SPECIFICATIONS.
  2. THE SAME FIBERGLASS PAD AND COVER TO BE USED FOR TRANSFORMER PAD SHALL BE USED AS ELECTRICAL PULL BOXES PER CENTRAL MAINE POWER COMPANY SPECIFICATIONS.

**TRANSFORMER**  
NOT TO SCALE



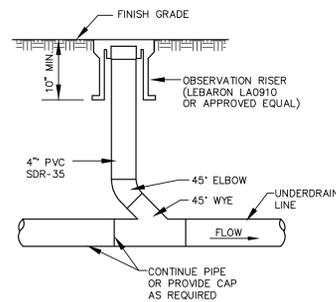
ALL CABLES TO BE ENCASED IN SCHEDULE 40 PVC CONDUIT WHEN RUN BENEATH PAVED AREAS PER CMP AND VERIZON REQUIREMENTS. CONDUIT SHALL BE 5" DIA. SCHEDULE 40 PVC OR AS REQUIRED BY CMP.

**TYPICAL UNDERGROUND CABLE INSTALLATION**  
NOT TO SCALE

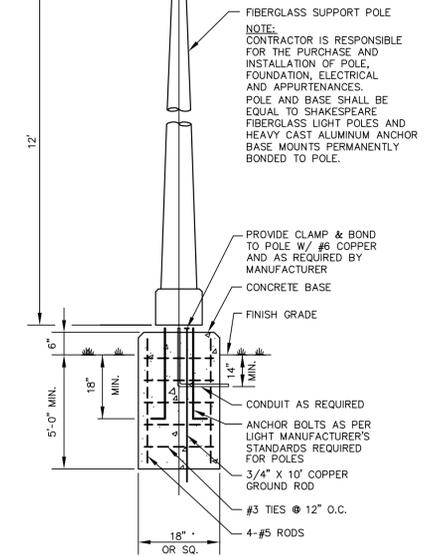
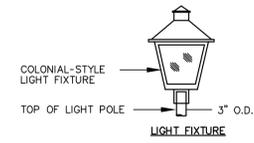


- NOTES:**
1. 2" RIGID INSULATION SHALL BE "H1 60" EXTRUDED POLYSTYRENE BY DOW CO. OR APPROVED EQUAL.
  2. CONTRACTOR SHALL INSULATE PER DETAIL AT ALL PIPE CROSSINGS WHERE SEPARATION IS 18" OR LESS.
  3. PROVIDE CONTINUOUS STONE BEDDING FROM BOTTOM OF STORMDRAIN TRENCH TO 6" ABOVE SEWER THROUGH SKEWED CROSSING.

**PIPE INSULATION DETAIL**  
NOT TO SCALE

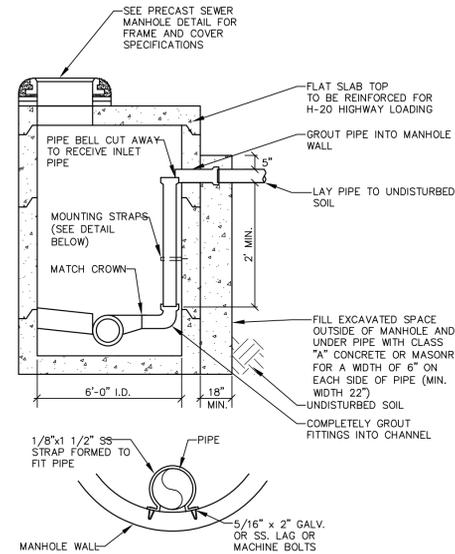


**UNDERDRAIN CLEANOUT**  
NOT TO SCALE



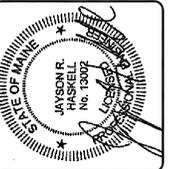
- NOTES:**
1. PRIOR TO CONSTRUCTION SUBMIT SHOP DRAWINGS FOR OWNERS APPROVAL.
  2. COORDINATE ELECTRICAL SERVICE REQUIREMENTS WITH KLP.
  3. ALL LIGHT FIXTURES SHALL BE SHIELDED OR HAVE AN INTENSITY THAT MINIMIZES SPILLAGE OF LIGHT ONTO ADJUTING PROPERTIES AND SHALL BE IN CONFORMANCE WITH CHAPTER 145 SECTION 41.

**TYPICAL LIGHT POLE**  
NOT TO SCALE



- NOTE:**
1. INSIDE DROP MANHOLE TO BE 6' INSIDE DIAMETER

**INSIDE DROP MANHOLE WITH PVC PIPE**  
NOT TO SCALE



DESIGNED	CHECKED
CCA	JRH
B. JRH 12-22-15 REVISED PER WELLS SANITARY DISTRICT REVIEW COMMENTS	
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250 Goodard Rd.  
Suite B  
South Portland, ME 04106  
Tel. 207-200-2100 Tel. 207-783-5656

**DETAILS OF:**  
MILLBROOKE FARM CONDOMINIUMS  
AT RIVERBEND WOODS  
WILLOW WAY  
WELLS, MAINE  
FOR: KASPRZAK LANDHOLDINGS, INC.  
P.O. BOX 26  
NORTH WATERBORO, MAINE 04061

PROJECT NO.	SCALE
04426	NTS
SHEET 18 OF 18	

04426-FR66-Dwg. 145.D